

- FINAL PLAT NOTES:
- (O/D.R.B.G.T.) DENOTES OFFICIAL/DEED RECORDS OF BRAZOS COUNTY, TEXAS.
 - THIS TRACT DOES NOT LIE WITHIN THE FLOOD PLAIN AS GRAPHICALLY DEPICTED ON F.E.M.A. - FIRM COMMUNITY PANEL NO. 48041C 0133C, JULY 2, 1992.
 - SETBACKS ARE AS SPECIFIED IN THE SUBDIVISION DEVELOPMENT ORDINANCE (NO. 1074), AMENDED BY (NO. 1261) EFFECTIVE DECEMBER 8, 2000.
 - BASIS OF BEARING: NORTH ORIENTATION IS BASED ON GRID NORTH PER GPS OBSERVATIONS.
 - NO IMPROVEMENTS ON THIS PROPERTY ENCROACH ON ADJACENT PROPERTY NOR DO ANY IMPROVEMENTS ON ADJACENT PROPERTY ENCROACH ON THIS PROPERTY, EXCEPT AS SHOWN.
 - UNLESS OTHERWISE SHOWN ALL PROPERTY CORNERS ARE MONUMENTED BY 1/2" IRON RODS.

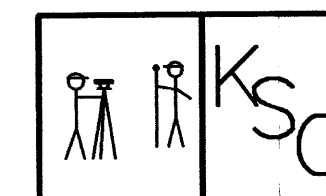
JUN 28 2006

REPLAT
OF
**BRYAN ORIGINAL
TOWNSITE**

BLOCK 107 & A PORTION OF W. 16th ST. & 17th ST.
VOLUME H, PAGE 721

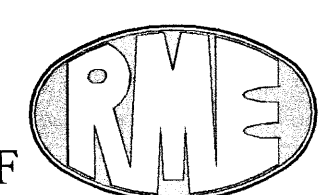
CREATING
BLOCK 107, LOT 1R

STEPHEN F. AUSTIN LEAGUE, A-62
BRYAN, BRAZOS COUNTY, TEXAS
SURVEYED: JUNE 9, 2006



SURVEYED BY: **KERR SURVEYING, LLC**
505 CHURCH STREET, P.O. BOX 269
COLLEGE STATION, TEXAS 77841
PHONE (979) 268-3195

**RABON
METCALF
ENGINEERING**



POST OFFICE BOX 9253
COLLEGE STATION, TEXAS 77842
EMAIL: rmengineer@verizon.net

OFFICE - (979) 690-0329
FAX - (979) 690-0329
CELL - (979) 219-4174

PROPERTY OWNER
BRYAN COTTON COMPRESS
c/o BILL BALLARD
202 W. 15TH STREET
BRYAN, TX 77803

OFF: (979) 775-5491
FAX: (979) 822-3392

FILENAME: 0285RP1A SCALE: 1" = 30'

SUBMITTAL DATE: JUNE 28, 2006

DRAWN BY: R.A.M.

CHECKED BY: R.A.M.

FIELD BOOK: N/A PAGES: N/A

RABON METCALF ENGINEERING
CLIENT NO. PROJECT NO.
205 - 0285

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF _____

COUNTY OF _____

I (We), _____, the owner(s) and developer(s) of the land shown on this plat, being (part of) the tract of land as conveyed to me (us, it) in the Deed Records of Brazos County in Volume _____, Page _____, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements, and public places shown for the purposes identified.

Owner _____

STATE OF TEXAS

COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person(s) whose name(s) is/are subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose stated.

Given under my hand and seal of office this _____ day of _____, 20____.

Notary Public, Brazos County, Texas

APPROVAL OF THE CITY PLANNER

I, the undersigned, City Planner and/or designated Secretary of the Planning & Zoning Commission of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the _____ day of _____, 20____.

City Planner, Bryan, Texas

APPROVAL OF THE CITY ENGINEER

I, the undersigned, City Engineer of the City of Bryan, hereby certify that this plat is in compliance with the appropriate codes and ordinances of the City of Bryan and was approved on the _____ day of _____, 20____.

City Engineer, Bryan, Texas

APPROVAL OF THE PLANNING & ZONING COMMISSION

I, _____, Chairman of the Planning & Zoning Commission of the City of Bryan, State of Texas, hereby certify that the attached plat was duly filed for approval with the Planning & Zoning Commission of the City of Bryan on the _____ day of _____, 20____ and same was duly approved on the _____ day of _____, 20____ by said Commission.

Chairman, Planning & Zoning Commission,
Bryan, Texas

CERTIFICATION OF THE COUNTY CLERK

STATE OF TEXAS

COUNTY OF BRAZOS

I, _____, County Clerk, in and for said county, do hereby certify that this plat together with its certificates of authentication was filed for record in my office the _____ day of _____, 20____, in the Official Records of Brazos County, Texas, in Volume _____, Page _____.

County Clerk, Brazos County, Texas

CERTIFICATION OF THE SURVEYOR

STATE OF TEXAS

COUNTY OF BRAZOS

I, _____, Registered Public Surveyor No. _____, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground, and that the metes and bounds describing said subdivision will describe a closed geometric form.

Registered Public Land Surveyor

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
COUNTY OF BRAZOS

I, NOSHAD TEJANI, THE OWNER AND DEVELOPER OF THE LAND SHOWN ON THIS PLAT, BEING (PART OF) THE TRACT OF LAND AS CONVEYED TO ME IN THE DEED RECORDS OF BRAZOS COUNTY IN VOLUME _____ PAGE _____ AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES SHOWN HEREON FOR THE PURPOSE IDENTIFIED.

OWNER _____

DEEDHOLDER APPROVAL _____

STATE OF TEXAS
COUNTY OF BRAZOS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2006.

NOTARY PUBLIC, BRAZOS COUNTY, TEXAS

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
COUNTY OF BRAZOS

I, TAZMIN RASHID, THE OWNER AND DEVELOPER OF THE LAND SHOWN ON THIS PLAT, BEING (PART OF) THE TRACT OF LAND AS CONVEYED TO ME IN THE DEED RECORDS OF BRAZOS COUNTY IN VOLUME _____ PAGE _____ AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES SHOWN HEREON FOR THE PURPOSE IDENTIFIED.

OWNER _____

DEEDHOLDER APPROVAL _____

STATE OF TEXAS
COUNTY OF BRAZOS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2006.

NOTARY PUBLIC, BRAZOS COUNTY, TEXAS

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
COUNTY OF BRAZOS

I, JAY ANDING, THE OWNER AND DEVELOPER OF THE LAND SHOWN ON THIS PLAT, BEING (PART OF) THE TRACT OF LAND AS CONVEYED TO ME IN THE DEED RECORDS OF BRAZOS COUNTY IN VOLUME _____ PAGE _____ AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES SHOWN HEREON FOR THE PURPOSE IDENTIFIED.

OWNER _____

DEEDHOLDER APPROVAL _____

STATE OF TEXAS
COUNTY OF BRAZOS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2006.

NOTARY PUBLIC, BRAZOS COUNTY, TEXAS

CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS
COUNTY OF BRAZOS

I, _____ COUNTY CLERK IN AND FOR SAID COUNTY, DO HEREBY CERTIFY THAT THIS PLAT TOGETHER WITH ITS CERTIFICATES OF AUTHENTICATION

WAS FILED FOR RECORD IN MY OFFICE THIS _____ DAY OF _____,

2006, IN THE OFFICIAL RECORDS OF BRAZOS COUNTY IN VOLUME _____ PAGE _____.

COUNTY CLERK, BRAZOS COUNTY, TEXAS

APPROVAL OF THE PLANNING & ZONING COMMISSION

I, _____ CHAIRMAN OF THE PLANNING & ZONING COMMISSION OF THE CITY OF BRYAN, STATE OF TEXAS, HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILED FOR APPROVAL WITH THE PLANNING & ZONING COMMISSION OF THE CITY OF BRYAN ON THE _____ DAY OF _____, 2006 BY SAID COMMISSION.

CHAIRMAN, PLANNING & ZONING COMMISSION
BRYAN, TEXAS

APPROVAL OF THE CITY PLANNER

I, THE UNDERSIGNED, CITY PLANNER AND/OR DESIGNATED SECRETARY OF THE PLANNING & ZONING COMMISSION OF THE CITY OF BRYAN, HEREBY CERTIFY THAT THIS PLAT IS IN COMPLIANCE WITH THE APPROPRIATE CODES AND ORDINANCES OF THE CITY OF BRYAN AND WAS APPROVED ON THE _____ DAY OF _____, 2006.

CITY PLANNER, BRYAN, TEXAS

APPROVAL OF THE CITY ENGINEER

I, THE UNDERSIGNED, CITY ENGINEER OF THE CITY OF BRYAN, HEREBY CERTIFY THAT THIS PLAT IS IN COMPLIANCE WITH THE APPROPRIATE CODES AND ORDINANCES OF THE CITY OF BRYAN AND WAS APPROVED ON THE _____ DAY OF _____, 2006.

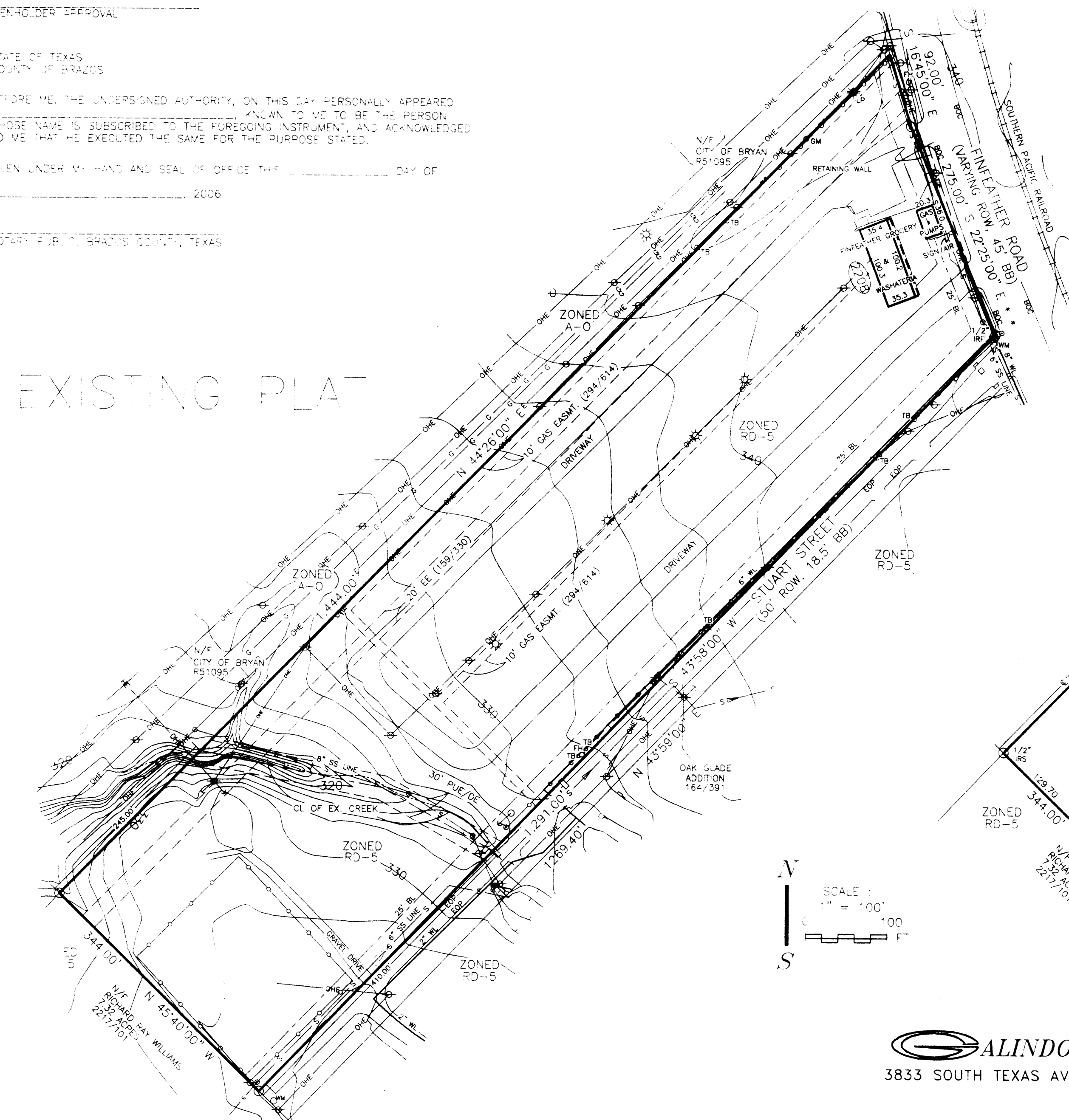
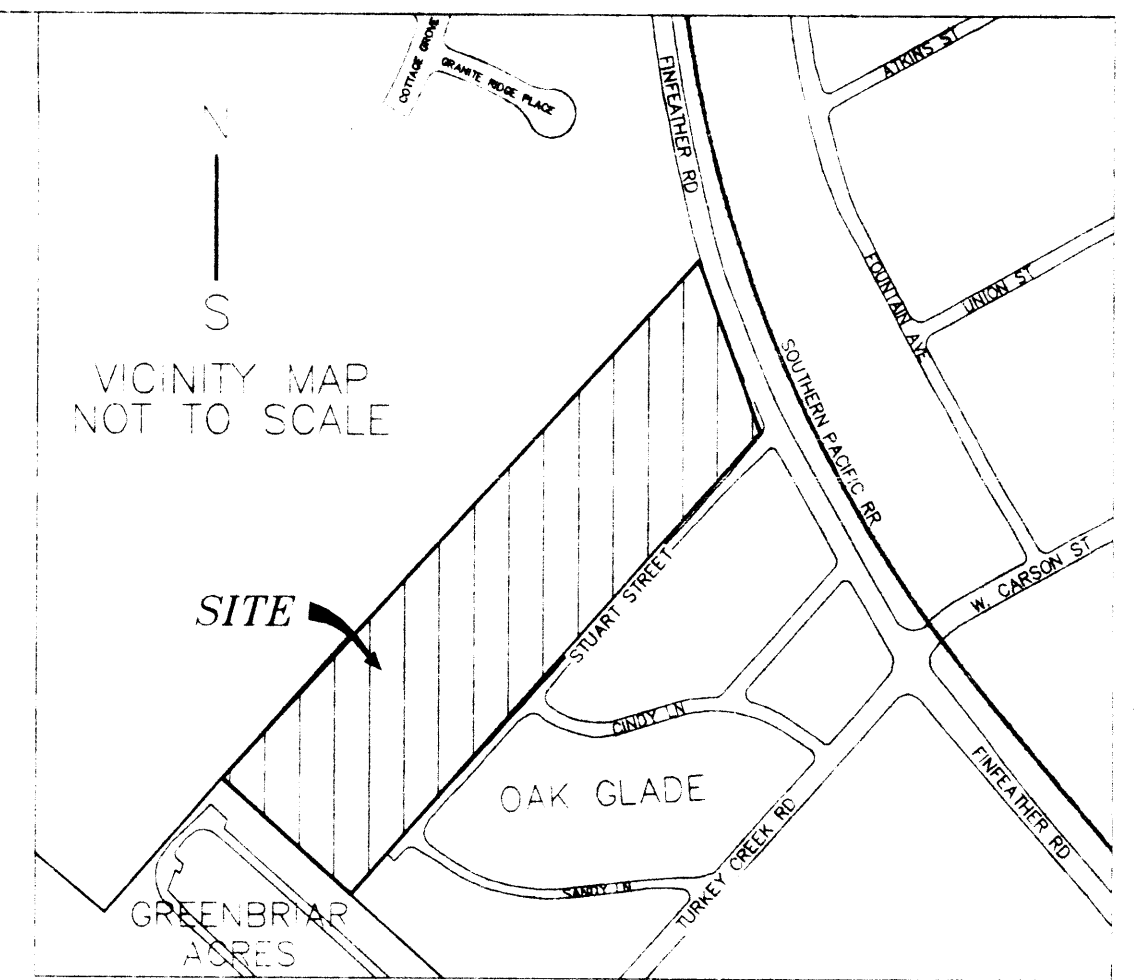
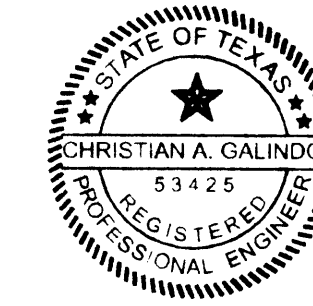
CITY ENGINEER, BRYAN, TEXAS

CERTIFICATE OF SURVEYOR AND ENGINEER

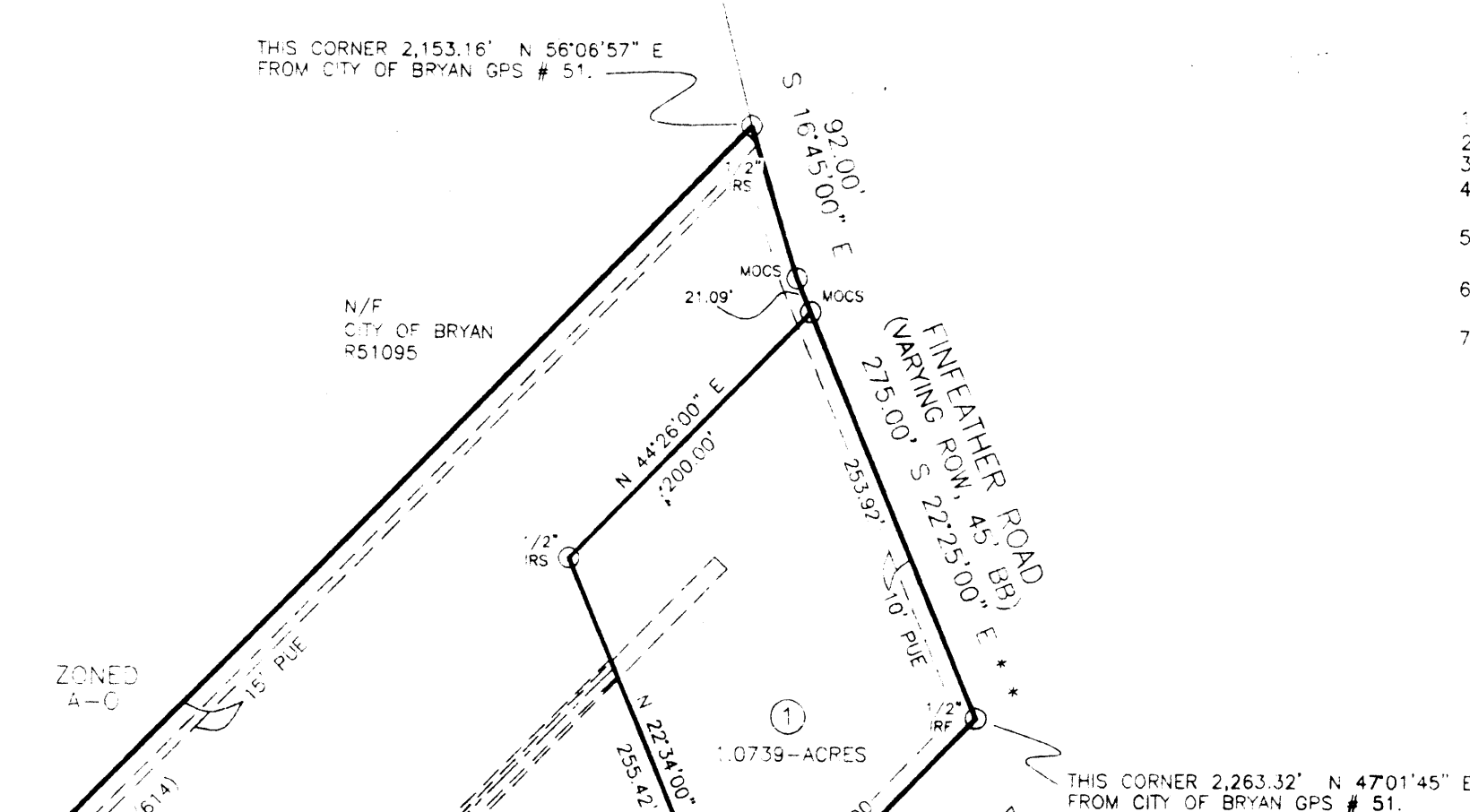
STATE OF TEXAS
COUNTY OF BRAZOS

I, CHRISTIAN A. GALINDO, LICENSED PROFESSIONAL ENGINEER No. 53425, AND REGISTERED PROFESSIONAL LAND SURVEYOR No. 4473, IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION AND CONTROL ON THE GROUND, THAT THE METES AND BOUNDS DESCRIBING SAID SUBDIVISION DESCRIBE A CLOSED GEOMETRIC FORM, AND THAT PROPER ENGINEERING PRACTICE WAS EXERCISED IN THE PREPARATION OF THIS PLAT.

Christian A. Galindo
CHRISTIAN A. GALINDO, P.E., R.L.S.
DATE: JUNE 26, 2006



- LEGEND**
- IR = IRON ROD
 - IP = IRON PIPE
 - CM = CONCRETE MARKER
 - MOC = MARK ON CONCRETE
 - CAP = CAPPED
 - S = SET
 - F = FOUND
 - FP = FENCE POST
 - FC = FENCE CORNER
 - ROW = RIGHT OF WAY
 - BB = BACK TO BACK OF CURB
 - BL = BUILDING LINE
 - PUE = PUBLIC UTILITY EASMT
 - EE = ELECTRICAL EASMT
 - DE = DRAINAGE EASMT
 - AE = ACCESS EASMT
 - PAE = PARKING/ACCESS EASMT
 - ET = ELECTRIC TRANSFORMER
 - E = ELECTRICAL
 - PP = POWER POLE
 - LP = LIGHT POLE
 - MH = MANHOLE
 - CO = CLEAN OUT
 - G = GAS
 - W = WATER
 - WV = WATER VALVE
 - SS = SANITARY SEWER
 - FH = FIRE HYDRANT
 - TP = TELEPHONE PEDESTAL
 - TV = CABLE
 - M = METER/MARKER
 - AC = AIR CONDITIONER
 - OH = OVERHANG
 - EOP = EDGE OF PAVEMENT
 - BOC = BACK OF CURB
 - PE = PEDESTRIAN ACCESS EASMT
 - IRI = IRRIGATION VALVE
 - (M) = MEASURED
 - (R) = RECORDED



- NOTES:**
- ALL LINEAR DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
 - TOTAL AREA = 10.5963 ACRES.
 - BASE LINE IS NOTED WITH *.
 - THIS TRACT DOES NOT LIE WITHIN A 100-YR FLOOD PLAIN (FEMA FIRM MAP # 48041 S 0133 C, DATED JULY 2, 1992).
 - BUILDING SETBACK LINES IN REPLAT ARE SET BY CURRENT SITE DEVELOPMENT REVIEW ORDINANCE.
 - BEARINGS WERE OBTAINED FROM CITY OF BRYAN'S CONTROL MONUMENTS, NAD83 (1993).
 - PRIMARY BM IS CITY OF BRYAN GPS MON. #51, ELEV.=327.06 (NAVD 88).

METES & BOUNDS DESCRIPTION

BEING A 10.5963-ACRE TRACT OR PARCEL OF LAND LYING AND BEING SITUATED IN THE ZENO PHILLIPS LEAGE, ABSTRACT NO. 45, BRAZOS COUNTY, TEXAS, AND BEING THE SAME TRACT CONVEYED TO J. S. WRIGHT BY T. W. WRIGHT, ET. AL. ON JULY 16, 1947, AND RECORDED IN VOLUME 137, PAGE 41, DEED RECORDS, BRAZOS COUNTY, TEXAS, FURTHERMORE BEING THE SAME TRACT OF LAND PLATTED AS FERRARA'S ADDITION, AN ADDITION TO THE CITY OF BRYAN, TEXAS, ACCORDING TO THE PLAT RECORDED IN VOLUME 314, PAGE 616, DEED RECORDS, BRAZOS COUNTY, TEXAS, AND SAID 10.5963-ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON ROD MARKING THE INTERSECTION OF THE SOUTHWEST RIGHT OF WAY LINE OF FINFEATHER ROAD, A CITY OF BRYAN PUBLIC RIGHT OF WAY, AND THE NORTHWEST RIGHT OF WAY LINE OF STUART STREET, A 50'-WIDE CITY OF BRYAN PUBLIC RIGHT OF WAY;

THENCE N 43°58'00" W, ALONG SAID STUART STREET, FOR A DISTANCE OF 1,291.00' TO AN IRON ROD ON THE NORTHEASTERN PROPERTY LINE OF A 7.32-ACRE TRACT OF LAND CONVEYED TO RICHARD WILLIAMS BY DEED RECORDED IN VOLUME 2217, PAGE 101, OFFICIAL RECORDS, BRAZOS COUNTY, TEXAS;

THENCE N 45°40'00" W, ALONG SAID NORTHEASTERN BOUNDARY LINE OF THE SAID 7.32-ACRE TRACT FOR A DISTANCE OF 344.00' TO AN IRON ROD SET ON THE SOUTHEASTERN PROPERTY LINE OF A CITY OF BRYAN TRACT;

THENCE N 44°26'00" E, ALONG THE SOUTHEASTERN BOUNDARY LINE OF SAID COB TRACT, FOR A DISTANCE OF 1,444.00' TO AN IRON ROD SET ON THE SOUTHWEST RIGHT OF WAY LINE OF FINFEATHER ROAD;

THENCE S 16°45'00" E, ALONG THE SOUTHWEST RIGHT OF WAY LINE OF FINFEATHER ROAD, FOR A DISTANCE OF 92.00' TO AN IRON ROD SET FOR A CORNER;

THENCE S 22°25'00" E, CONTINUING ALONG THE RIGHT OF WAY LINE OF FINFEATHER ROAD, FOR A DISTANCE OF 275.00' TO THE POINT OF BEGINNING CONTAINING 10.5963-ACRES OF LAND MORE OR LESS.

NOTE: BEARINGS BASE IS CITY OF BRYAN'S CONTROL MONUMENTS, NAD83 (1993).

REPLAT OF LOTS 1, 2, & 3, BLOCK ONE FERRARA'S ADDITION

JUN 27 2006

OWNER/DEVELOPER:

NOSHAD TEJANI
2208 FINFEATHER RD.
BRYAN, TEXAS, 77801
TEL: (979) 823-6591
FAX: (979) 823-0054

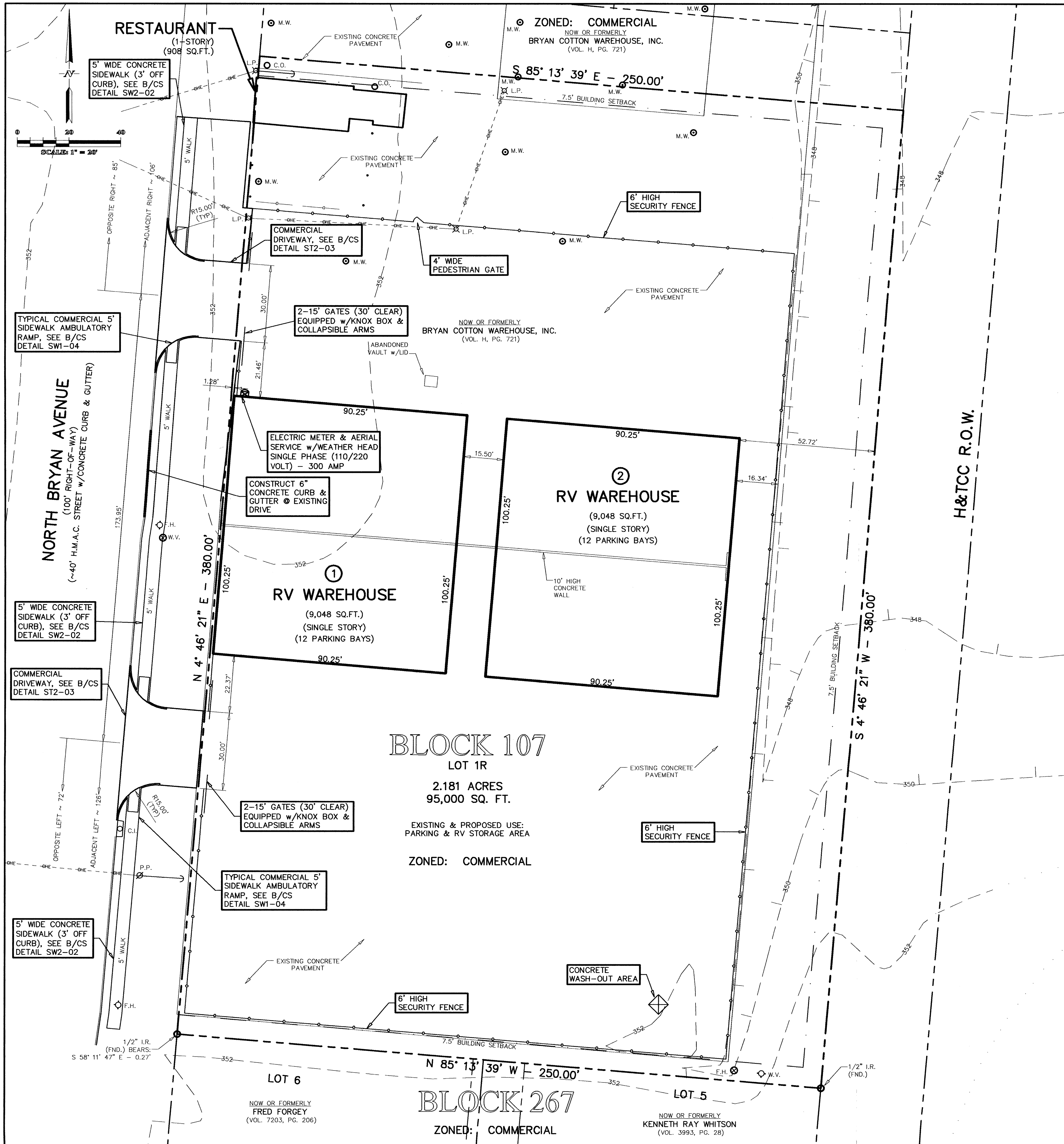
10.5963-ACRES

ZENO PHILLIPS LEAGE, A-45
BRYAN, BRAZOS COUNTY, TEXAS

DATE: JUNE 26, 2006
DESIGNED BY: JTM
APPROVED BY: CAG
REVISIONS:

PROJECT
13-06
SHEET
1 OF 1

GALINDO ENGINEERS AND PLANNERS, INC.
3833 SOUTH TEXAS AVE., SUITE 213 BRYAN, TEXAS 77802 979-846-8868



SYMBOL & LINE LEGEND	
	CHAIN LINK FENCE
	ROD IRON FENCE
	UNDERGROUND ELEC. LINE
	OVERHEAD ELEC. LINE
	WATER LINE
	SEWER LINE
	POWER POLE
	LIGHT POLE
	GUY WIRE ANCHOR
	AIR COND. COMP.
	WATER VALVE
	WATER METER
	ELECTRICAL TRANSFORMER
	GAS METER
	MANHOLE
	CLEANOUT
	FIRE HYDRANT
	TELEPHONE PEDESTAL
	BUILDING SETBACK LINE
	PROPERTY LINE
	EASEMENT LINE

PARKING REQUIREMENTS:
ORDINANCE:
STORAGE - 1 SPACE PER
2000 G.F.A.

REQUIRED:
BUILDING AREA = 18,096 G.F.A.
(18,096 / 2000) = 9 SPACES

PROVIDED:
BAY PARKING = 24 SPACES

SITE NOTES:

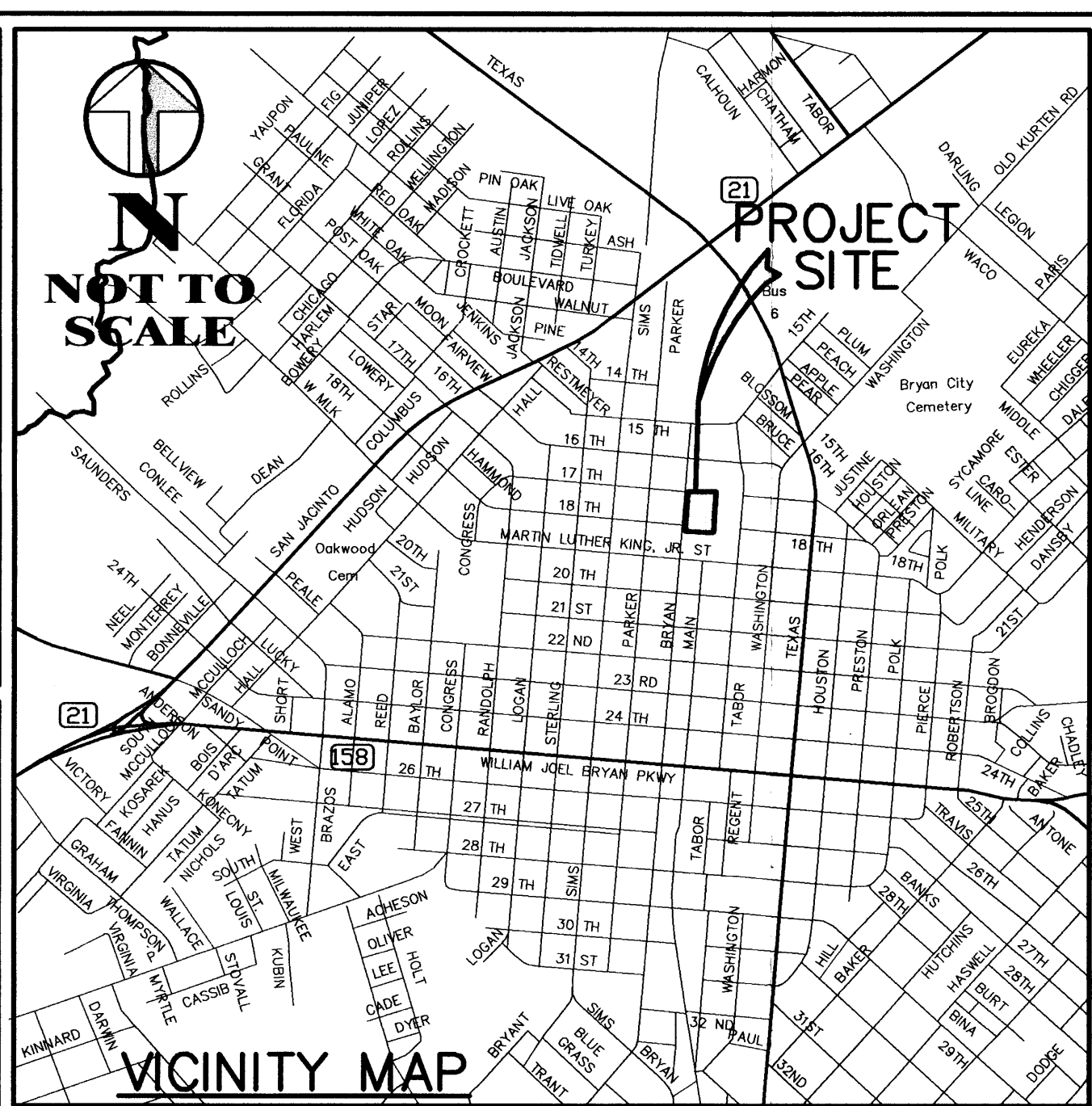
1. THIS SITE DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS GRAPHICALLY DEPICTED FEMA FIRM COMMUNITY NO. 48041, PANEL NO. 0133 C, WITH AN EFFECTIVE DATE OF JULY 2, 1992.
2. DESIGNATED HANDICAP PARKING SPACES, WALKS & RAMPS SHALL MEET ALL TAS & ANSI STANDARDS.
3. ENHANCED PAVING FOR CONCRETE SIDEWALKS SHALL CONSIST OF EITHER BRICK PAVERS OR STAMPED CONCRETE. COLOR AND PATTERN SHALL BE DETERMINED BY THE OWNER, BUT GREY OR NATURAL CONCRETE COLORS ARE NOT PERMITTED.
4. WHEN BUILDING SETBACKS AND EASEMENT LINES OVERLAP ONLY THE EASEMENT LINE IS SHOWN.
5. 100% COVERAGE OF GROUND COVER, DECORATIVE PAVING, DECORATIVE ROCK, OR A PERENNIAL GRASS IS REQUIRED IN PARKING LOT ISLANDS, SWELLS AND DRAINAGE AREAS, THE PARKING LOT SET BACK, RIGHT-OF-WAY, AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION.
6. THE IMPROVEMENTS SHOWN SHALL CONSTITUTE APPROXIMATELY 85% IMPERVIOUS COVER ON THE SUBJECT PROPERTY.
7. NO FLOOR DRAINS WILL BE REQUIRED FOR INDUSTRIAL PURPOSES.
8. NO DETENTION FACILITY IS REQUIRED THE PROPOSED DEVELOPMENT.
9. NO SANITARY SEWER, OF ANY TYPE, SHALL BE GENERATED AND DISPOSED INTO THE PUBLIC SEWER SYSTEM FROM THIS SITE.
10. A VARIANCE REQUEST FROM THE 25' FRONT BUILDING SETBACK TO A DISTANCE OF 1.0' HAS BEEN REQUESTED FROM THE PLANNING & ZONING COMMISSION.
11. THIS SITE'S SOLID WASTE SHALL BE DISPOSED BY ONE 90 GALLON AUTOMATED TRASH CONTAINERS.
12. UNLESS OTHERWISE SHOWN OR DENOTED, ALL EXISTING SURFACES CONSIST OF CONCRETE PAVEMENT.
13. THE TOPOGRAPHIC INFORMATION SHOWN WAS OBTAINED FROM THE CITY OF BRYAN.
14. THE BATHROOM FACILITY, LOCATED IN THE EXISTING RESTAURANT BUILDING, SHALL PROVIDE PUBLIC RESTROOM FACILITIES FOR THIS DEVELOPMENT.
15. THE 2005 B/C/S UNIFIED TECHNICAL SPECIFICATIONS AND STANDARD DETAILS FOR STREET AND SIDEWALK CONSTRUCTION ARE ISSUED FOR THIS PROJECT.

DIMENSIONAL CONTROL NOTES:

1. THE CONTRACTOR MAY OBTAIN AN ELECTRONIC COPY OF THE SITE PLAN FOR CONSTRUCTION PURPOSES. THE ELECTRONIC FILE AND INFORMATION GENERATED BY RABON METCALF ENGINEERING (RME), FOR THIS PROJECT IS CONSIDERED BY RME TO BE CONFIDENTIAL. WHEN ISSUED, IT'S USE IS INTEND SOLELY FOR THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED. THIS MATERIAL IS INTENDED FOR USE BY THE RECIPIENT NAMED, ONLY, AND PERMISSION IS NOT GRANTED TO THE RECIPIENT FOR DISTRIBUTION OF THESE DOCUMENTS IN ANY FORM OR FASHION. THE RECIPIENT UNDERSTANDS THAT THIS DATA IS AUTHORIZED "AS IS" WITHOUT ANY WARRANTY AS TO ITS PERFORMANCE, ACCURACY, FREEDOM FROM ERROR, OR AS TO ANY RESULTS GENERATED THROUGH ITS USE. THE RECIPIENT ALSO UNDERSTANDS AND AGREES THAT RME, UPON RELEASE OF SUCH DATA, IS NO LONGER RESPONSIBLE FOR THEIR USE OR MODIFICATION. THE USER AND RECIPIENT OF THE ELECTRONIC DATA ACCEPTS FULL RESPONSIBILITY AND LIABILITY FOR ANY CONSEQUENCES ARISING OUT OF THEIR USE.
2. ALL DIMENSIONS SHOWN ARE TO BE USED IN CONJUNCTION WITH THESE PLANS FOR LOCATING ALL IMPROVEMENTS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR FOR WORKABILITY PRIOR TO CONSTRUCTION OF IMPROVEMENTS.
3. UNLESS OTHERWISE SHOWN, ALL DIMENSIONING IS TO THE BACK OF CURB OR EDGE OF PAVEMENT, WHICHEVER IS APPLICABLE.
4. UNLESS OTHERWISE SHOWN, ALL RADIUS FOR CURBS ARE 4'-0" (AT FACE OF CURB) AND 2'-0" FOR SIDEWALKS.
5. BOUNDARY AND AS-BUILT DATA SHOWN WAS PROVIDED BY KERR SURVEYING, LLC. (505 CHURCH STREET, COLLEGE STATION, TX 77840) UNDER THE DIRECTION OF MR. BRAD KERR, R.P.L.S. No. 4502.
6. PROJECT BENCHMARK: CoB GPS MONUMENT NO. 36: BRASS CAP IN CONCRETE MARKER LOCATED ON THE NORTHWEST CORNER OF INTERSECTION OF WILLIAM JOEL BRYAN PARKWAY & WASHINGTON STREET (ELEVATION = 371.82' (NGVD 29))

GENERAL UTILITY NOTES (PRIVATE & PUBLIC):

1. ALL EXCAVATION FOR UNDERGROUND UTILITIES SHALL BE MADE TRUE TO GRADE. EXCAVATION SHALL BE MADE A MINIMUM OF SIX INCHES BELOW THE REQUIRED GRADE AND PROVIDE A SAND BED FOR THE PIPING. BACKFILL OVER PIPING SHALL BE MADE WITH EARTH OR FILL SAND, FREE OF DEBRIS, AND SHALL BE TAMPED BY HAND OR MECHANICAL MEANS TO THE DENSITY OF THE ADJACENT UNDISTURBED EARTH OR TO 95% STANDARD PROCTOR DENSITY (ASTM D698), WHICHEVER IS GREATER. ALL TRENCHING AND EXCAVATION SHALL BE DONE IN STRICT ACCORDANCE WITH CURRENT OSHA REQUIREMENTS AND ALL OTHER APPLICABLE SAFETY CODES AND STANDARDS.
2. MINIMUM BURY OR COVER SPECIFIED IS TO BE MEASURED FROM FINISHED GRADES. WHERE UTILITY LINES EXTEND UNDER PAVEMENT, THE BURY OR COVER SHALL BE MEASURED FROM THE BOTTOM OF THE STRUCTURE.
3. UTILITY INSTALLATIONS IN NON-STRUCTURAL AREAS SHALL BE BACKFILLED WITH TYPE "D" BEDDING REQUIREMENTS. IN STRUCTURAL AREAS (UNDER FOUNDATIONS, PAVEMENTS, WALKS, ETC...) THE UTILITIES SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND.
4. THE CONTRACTOR SHALL COORDINATE ALL SLEEVING REQUIRED FOR ON-SITE UTILITIES AND IRRIGATION SYSTEMS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONNECTIONS TO PUBLIC SYSTEMS AND INSTALLATIONS WITH REGULATORY INSPECTOR.
6. CONTRACTOR SHALL MARK ALL SERVICE LEADS WITH PVC PIPE BURIED A MINIMUM OF 3' INTO THE GROUND AND COLOR COORDINATED.
7. THE CONTRACTOR SHALL INSTALL THE PROPOSED PRIVATE UTILITY LINES IN ACCORDANCE WITH LOCAL CODES, LATEST NATIONAL PLUMBING CODE AND ALL APPLICABLE STATE AND LOCAL LAWS. OTHER PRIVATE OR PUBLIC UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY COMPANY'S SPECIFICATIONS. SHOULD THESE DRAWINGS AND SPECIFICATIONS DIFFER WITH OTHER UTILITY COMPANY'S SPECIFICATIONS, THE STRICTER OF THE TWO SHALL APPLY.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PAY FOR AND OBTAIN ALL REQUIRED PERMITS AND INSPECTION APPROVALS FOR ALL WORK SHOWN.
9. THE CONTRACTOR SHALL COORDINATE ALL INSTALLATIONS OF SERVICES LINES, CONDUIT, METERS, ETC... WITH THE APPROPRIATE UTILITY COMPANY.



RABON METCALF ENGINEERING
POST OFFICE BOX 9253
COLLEGE STATION, TEXAS 77842
EMAIL: rmengineer@juno.com

OFFICE: (979) 690-0329
FAX: (979) 690-0329
CELL: (979) 219-4174

SURVEYOR
KERR SURVEYING, LLC
505 CHURCH STREET
COLLEGE STATION, TX 77841

OFF: (979) 268-3195
FAX: (979) 691-8904

**90% COMPLETE
NOT FOR
CONSTRUCTION
REVIEW ONLY
6/28/06**

PRELIMINARY

THIS DOCUMENT IS RELEASED
FOR THE PURPOSE OF INTERIM
REVIEW UNDER THE AUTHORITY
OF RABON A. METCALF, P.E.
NO. 88583, ON JUNE 28,
2006. IT IS NOT TO BE USED
FOR CONSTRUCTION, BIDDING
OR PERMIT PURPOSES.

**CIVIL SITE & UTILITY
PLAN**
FOR THE
**NEW RV STORAGE FACILITY
911 NORTH BRYAN AVENUE
BRYAN, TX**
BRYAN ORIGINAL TOWNSHIP
BLOCK 107, LOT 1R
BRYAN, BRAZOS COUNTY, TEXAS

JUN 28 2006

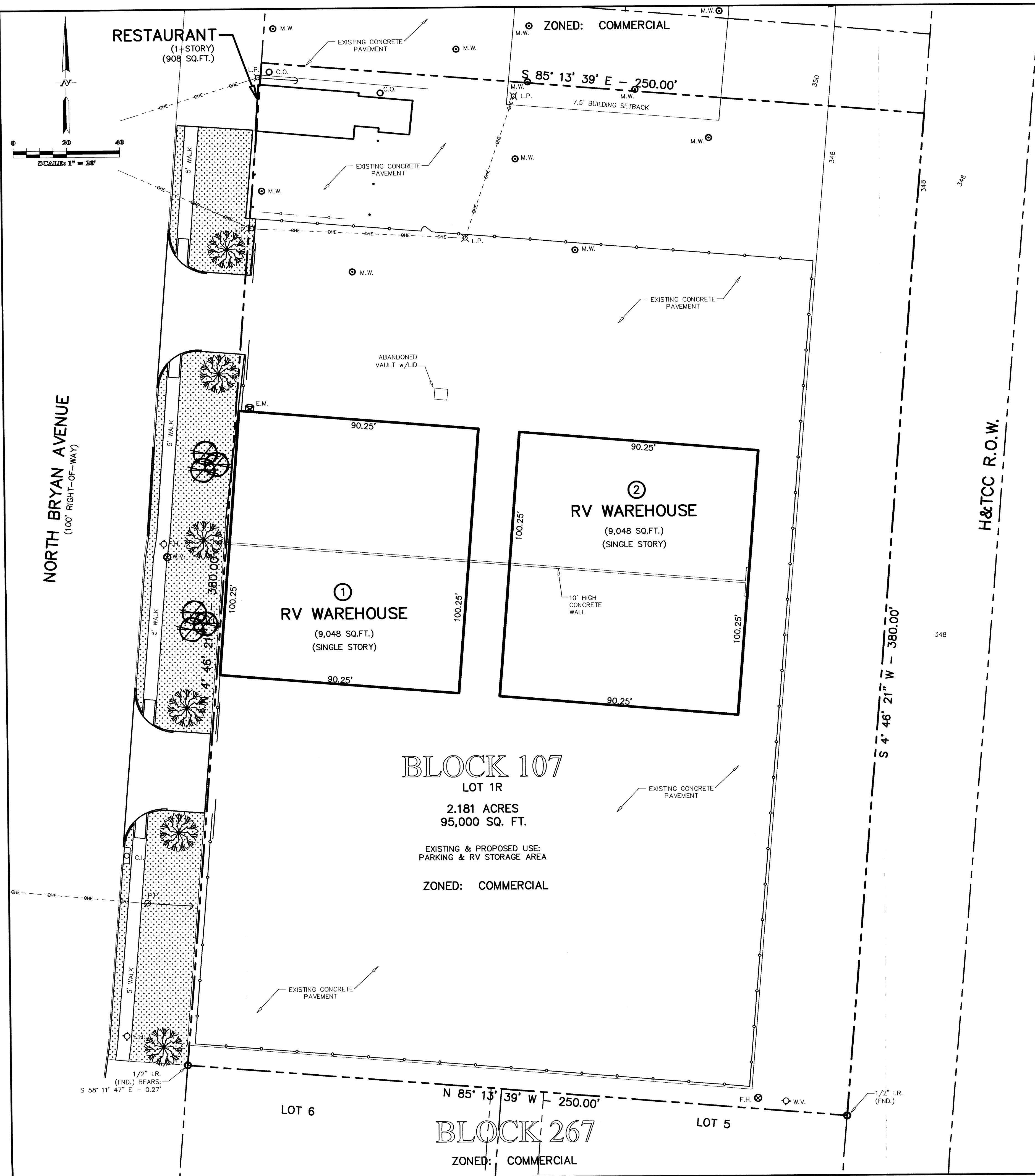
CLIENT INFORMATION
BRYAN COTTON COMPRESS
C/O BILL BALLARD
202 W. 15TH STREET
BRYAN, TX 77803

OFF: (979) 775-5491
OFF: (979) 822-3392

FILENAME: 0285SP1A | SCALE: 1"=20'
SUBMITTAL DATE: JUNE 28, 2006
DRAWN BY: R.A.M.
CHECKED BY: R.A.M.
FIELD BOOK: N/A | PAGES: N/A

RABON METCALF ENGINEERING
CLIENT NO. PROJECT NO.
205 - 0285

C1.1
SHEET 2 OF 3



LANDSCAPE SCHEDULE							
SYMBOL	NO. OF PLANTS	SIZE	BOTANICAL NAME	COMMON NAME	TYPE	NOTES	SQ.FT. EACG
	6	1.5" TO 2" CALIPER	QUERCUS NIGRA	WATER OAK	CANOPY TREE	30 GALLON	225
	6	> 1.25" CALIPER	LAGERSTROEMIA INDICA	CREPE MYRTLE	NON-CANOPY TREE	15 GALLON	100
							600

- LANDSCAPING NOTES:**
- THE LANDSCAPE PLAN PRESENTED WAS PREPARED BY RABON METCALF ENGINEERING (RME). RME IS NEITHER A LICENSED LANDSCAPE ARCHITECT NOR IRRIGATOR. THIS PLAN WAS PREPARED FOR THE SOLE PURPOSE TO MEET THE CITY OF BRYAN (CoB) ZONING ORDINANCE AND OBTAIN DEVELOPMENT PERMITS. ANY CHANGES MADE TO THIS PLAN SHALL BE SUBMITTED TO THE CoB PLANNING & DEVELOPMENT DEPARTMENT FOR REVIEW AND APPROVAL.
 - 100% COVERAGE OF GROUND COVER, DECORATIVE PAVING, DECORATIVE ROCK, OR A PERENNIAL GRASS IS REQUIRED IN PARKING LOT ISLANDS, SWELLS AND DRAINAGE AREAS, THE PARKING LOT SET BACK, RIGHT-OF-WAY, AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION.
 - ANY ADJACENT PROPERTY AND RIGHT-OF-WAY DISTURBED DURING CONSTRUCTION WILL BE RETURNED TO ITS EXISTING CONDITIONS OR BETTER.
 - ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPOSED PARKING ISLANDS PRIOR TO PLACEMENT OF TOPSOIL AND PLANTING, INCLUDING CONCRETE, ASPHALT, LIMESTONE BASE MATERIAL, OR COMPACTED STABILIZED EARTH.
 - THE CROWN OF ALL PLANTS SHALL BE SLIGHTLY HIGHER, AFTER SETTLING, THAN ADJACENT SOIL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING OR ADDING TOP SOIL, AS NEEDED, FOR THE INCLUSION OF THE SOIL AMENDMENTS, AS NEEDED, IN THE PREPARED GROUND COVER BEDS.
 - ALL SINGLE TRUNK TREES ARE TO BE STAKED; HOSE AND GUY WIRES OVERLAPPED.
 - COVER AREAS TO BE PLANTED WITH 3" APPROVED ORGANIC MATTER, 2" PINE BARK MULCH, AND 13-13-13 FERTILIZER AT THE RATE OF 5 LBS./100 SQ.FT. OF BED AREA.
 - ALL DISTURBED AREAS, NOT DESIGNATED TO BE BLOCK SODDED, SHALL BE SEEDED WITH EITHER BERMUDA (2 LBS./1,000 SQ.FT.) FROM MARCH 15 TO SEPTEMBER 15 OR BERMUDA/RYE GRASS MIX (2 LBS./5 LBS. PER 1,000 SQ.FT.) FROM SEPTEMBER 16 TO MARCH 14.
 - PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY ALL LANDSCAPING SHALL BE INSTALLED.

- IRRIGATION NOTES:**
- AN IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED IRRIGATOR FOR ALL NEW PLANTED AND LANDSCAPED AREAS.
 - THE IRRIGATION SYSTEM MUST BE PROTECTED BY EITHER A PRESSURE VACUUM BREAKER, A REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE, OR A DOUBLE CHECK BACK FLOW DEVICE.
 - ALL BACK FLOW DEVICES MUST BE INSTALLED AND TESTED.
 - INSTALLATION PVC (SCH 40) SLEEVING SHALL BE COORDINATED WITH THE CONTRACTOR AND ALL SLEEVING SHALL EXTEND A MINIMUM OF 24" PAST THE CURB OR SIDEWALK WHERE APPLICABLE.
 - THE IRRIGATION SYSTEM MUST BE INSTALLED AND APPROVED PRIOR TO ISSUANCE OF CoB - CERTIFICATION OF OCCUPANCY.
 - THE CONTRACTOR'S IRRIGATOR SHALL SUBMIT AN IRRIGATION PLAN TO THE OWNER FOR REVIEW AND APPROVAL. THE IRRIGATION PLAN SHALL DEMONSTRATE THAT THE IRRIGATION SYSTEM WILL SUFFICIENTLY SUPPLY ALL WATER NEEDS TO THE NEWLY PLANTED LANDSCAPING AND GROUND COVER AND MEET ALL INITIAL WATERING NEEDS FOR VIABLE ESTABLISHMENT AND GROWTH OF PLANTINGS.

SYMBOL & LINE LEGEND

- CHAIN LINK FENCE
- ROD IRON FENCE
- UNDERGROUND ELEC. LINE
- OVERHEAD ELEC. LINE
- WATER LINE
- SEWER LINE
- POWER POLE
- LIGHT POLE
- GUY WIRE ANCHOR
- AIR COND. COMP.
- WATER VALVE
- WATER METER
- ELECTRICAL TRANSFORMER
- GAS METER
- MANHOLE
- CLEANOUT
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- BUILDING SETBACK LINE
- PROPERTY LINE
- EASEMENT LINE

LANDSCAPING REQUIREMENTS

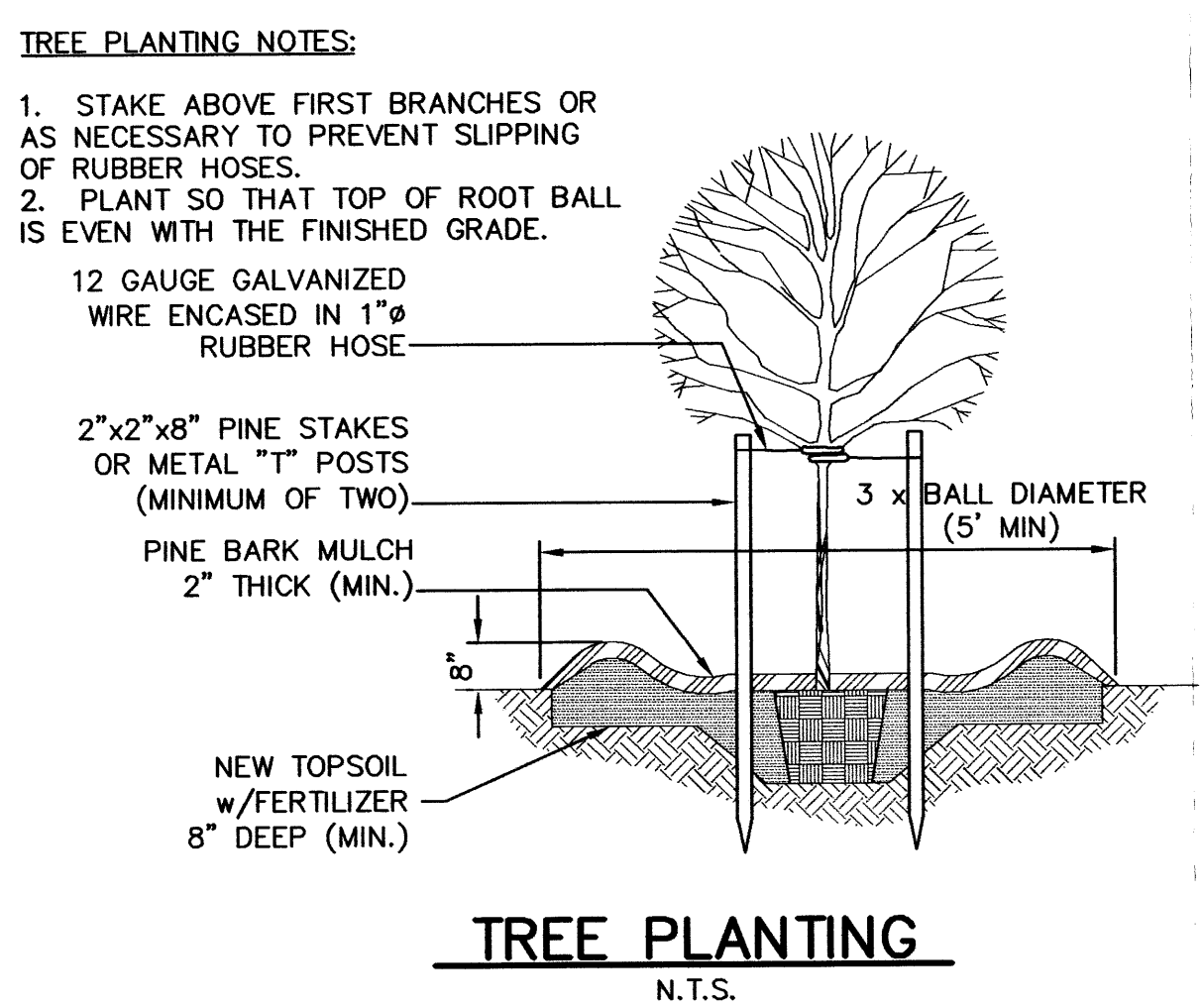
LANDSCAPING AREA:
STANDARD DEVELOPED AREA = 95,000 SQ.FT.
95,000 x 2% = 1,900 SQ.FT.
REQUIRED LANDSCAPING AREA = 1,900 SQ.FT.
PROVIDED LANDSCAPING AREA = 1,950 SQ.FT.

TREE REQUIREMENT:
MINIMUM 50% TREES OF REQUIRED AREA
1,900 x 50% = 950 SQ.FT.
PROVIDED TREE AREA = 1,950 SQ.FT.

CANOPY TREE REQUIREMENT:
MINIMUM 50% CANOPY TREES OF REQUIRED TREES
950 x 50% = 475 SQ.FT.
PROVIDED CANOPY TREE AREA = 1,350 SQ.FT.

HATCH LEGEND

- SOLID SOD AREAS (TIF 419)
- SEEDED AREAS



RABON METCALF ENGINEERING

POST OFFICE BOX 9253
COLLEGE STATION, TEXAS 77842
EMAIL: rmengineer@juno.com

OFFICE - (979) 690-0329
FAX - (979) 690-0329
CELL - (979) 219-4174

SURVEYOR
KERR SURVEYING, LLC
505 CHURCH STREET
COLLEGE STATION, TX 77841

OFF: (979) 268-3195
FAX: (979) 691-8904

90% COMPLETE NOT FOR CONSTRUCTION REVIEW ONLY 6/28/06

PRELIMINARY

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF RABON A. METCALF, P.E. NO. 88583, ON JUNE 28, 2006. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

LANDSCAPE PLAN FOR THE NEW RV STORAGE FACILITY 911 NORTH BRYAN AVENUE BRYAN, TX

BRYAN ORIGINAL TOWNSITE BLOCK 107, LOT 1R BRYAN, BRAZOS COUNTY, TEXAS

CLIENT INFORMATION
BRYAN COTTON COMPRESS
c/o BILL BALLARD
202 W. 15TH STREET
BRYAN, TX 77803

OFF: (979) 775-5491
OFF: (979) 822-3392

FILENAME: 0285LP1A SCALE: 1"=20'
SUBMITTAL DATE: JUNE 28, 2006
DRAWN BY: R.A.M.
CHECKED BY: R.A.M.
FIELD BOOK: N/A PAGES: N/A

RABON METCALF ENGINEERING
CLIENT NO. PROJECT NO.
205 - 0285

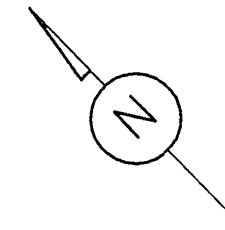
C1.2
SHEET 3 OF 3

JUN 28 2006

The site plan illustrates the layout for Lot 4, Block 2 (1.162 acres), situated between Colson Road to the west and Lot 5 to the south. The plan includes the following details:

- Proposed Building:** An existing 40'-0" x 75'-0" building with a proposed addition of 40'-0" x 20'-0" x 16'-0" at an eave height. The building is oriented with its long side parallel to the eastern boundary.
- Parking Area:** A parking lot is located to the west of the building, with a width of 24'-0" and a length of 100.00'.
- Utility Lines:**
 - Water Line:** Runs north-south, crossing the parking area and the building.
 - Gas Line:** Runs north-south, located east of the parking area.
 - 4" PVC Line:** A line running east-west, located south of the building.
 - EXISTING MAIN SEWER LINE:** Runs east-west, located south of the parking area.
- Other Features:**
 - Oil Separation Unit:** Located south of the building, adjacent to the 4" PVC line.
 - Dumpster Pad:** Located south of the parking area, east of the building.
 - Property Lines:** The eastern boundary is defined by a line with a bearing of S 44°57'09" E and a distance of 506.00'. The southern boundary is defined by a line with a bearing of S 44°57'09" E and a distance of 507.75'.
 - Access:** A 24'-0" wide drive provides access from Colson Road to the parking area.

The plan also shows Lot 3 to the north and Lot 5 to the south, separated by dashed lines. A north arrow is located in the upper right corner.



LOT 3

LOT 4
BLOCK 2
1.162 ACRES

LOT 5

JUN 28 2006

General Notes

WASH BAY
ADDITION

No.	Revision/Issue	Date

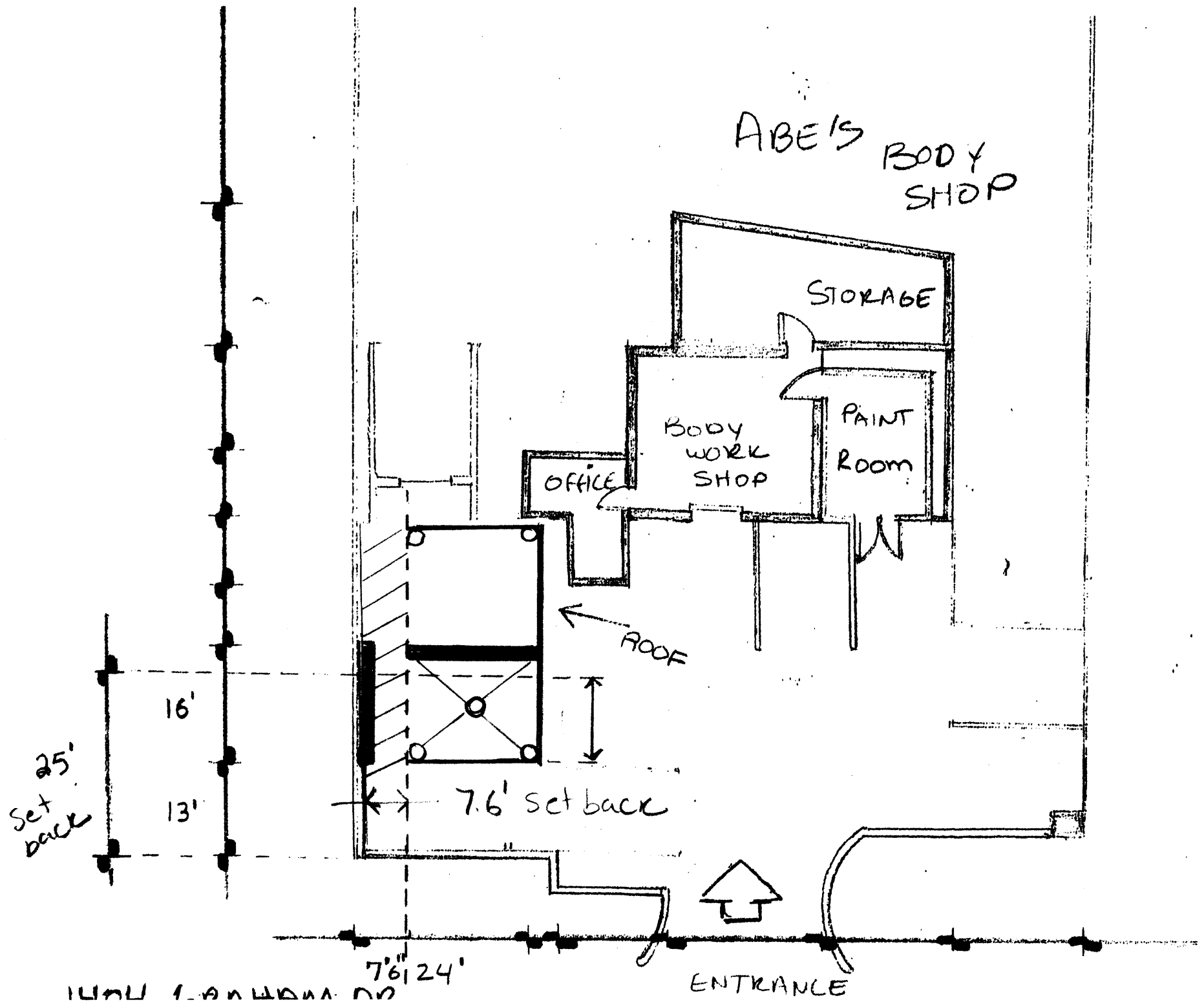
Print Name and Address

Project Name and Address

LIBERTY METAL BUILDINGS
5807 STALLION RIDGE
COLLEGE STATION, TEXAS
77875
PHONE: 979-693-4597
FAX: 979-693-7624

Project	LMB-02	Sheet A
Date	05/05/06	
Scale	NTS	

ABE'S BODY SHOP



CROCKETT SCHOOL

WILLOW AVENUE

RESTWOOD ADDITION
LOT 4, BLOCK 12
99/60

DOERGE SUBDIVISION

DOERGE SUBDIVISION

JUN 2 8 2006

CITY LANDSCAPING REQUIREMENTS:

TOTAL DEVELOPMENT AREA = 31,000 SF
AREA REQUIRED @ 8.0% = 2,480
TOTAL AREA REQUIRED = 2,480

TREES REQUIRED

AREA REQUIRED @ 1/2 TOTAL AREA 1,240
CANOPY TREE AREA REQUIRED 50% 620
NON-CANOPY TREE AREA ALLOWED @ 50% 620
CANOPY TREES REQUIRED @ 400 SF/ TREE 2
NON-CANOPY TREES ALLOWED @ 100 SF/ TREE 6
CANOPY TREES PROVIDED @ 400 6
(EXIST. OAK @ 20" DIAM. AND LARGER)
NON-CANOPY TREES TO BE PROVIDED 0
TREE AREA PROVIDED 2,400

SHRUBS REQUIRED

AREA REQUIRED @ 1/2 TOTAL AREA 1,240
SHRUBS REQUIRED @ 10 SF/ SHRUB 124
SHRUBS PROVIDED 124
SHRUB AREA PROVIDED 1,240

TOTAL AREA PROVIDED = 3,640

PLANT SPECIES AND LOCATION SHOWN BY LS PLAN

EXIST-TO REMAIN
30.5'X20.5' PRIVATE GARAGE

EXIST-TO REMAIN
CONC WALKWAY

CONC DRIVE, ETC
TO BE REMOVED

S I T E P L A N

MISC. SITE DATA

- * NUMBER OF STORIES - 1
- * ROOF OVERHANGS - 2' MAX
- * A/C UNIT PADS - 2 AT GROUND LEVEL
- * LOCATION OF EXISTING UTILITIES ARE SHOWN
- * LOCATION OF EXISTING FIRE HYDRANTS ARE CALLED
- * BUILDING HEIGHT LESS THAN 22 FT.

SITE COVERAGE SUMMARY

- * TOTAL LAND AREA, OWNED = 47,076 SF
- * PHASE 1 DEVELOPMENT AREA = 31,000 SF
- * PRE-DEV. PHASE 1 COVERED (IMPERVIOUS) AREA = 710 SF
- * POST-DEV. PHASE 1 COVERED (IMPERVIOUS) AREA = 16,490 SF
- * PHASE 1 COVERED (IMPERVIOUS) AREA = 53.2%
- * TOTAL LAND COVERED (IMPERVIOUS) AREA = 35%

LANDSCAPING

- * LANDSCAPING SHOWN BY SEPARATE SHEET
- * MANDATORY LANDSCAPING ANALYSIS SHOWN THIS SHEET

PARKING

- * BUILDING USE - FOOD CATERING (NO DINE IN)
- * CITY REQUIREMENT @ 0.5/ EMPLOYEE
- * EMPLOYEES = 10 MAX.
- * PARKING SPACES REQUIRED - 5
- * PARKING SPACES PROVIDED - 10

FIRE PROTECTION

- * PROVIDE CURB MARKING AS REQUIRED BY THE CITY OF BRYAN
- * FIRE HOSE LAY 800' (HOSE LAY SHOWN THIS SHEET) (28)

ZONING

- * RETAIL

FLOOD PLANE

- * NONE OF THE PROPOSED DEVELOPMENT IS LOCATED WITHIN THE 100 YEAR FLOOD PLANE AS DEFINED BY FEMA MAP #48041C0141C DATED JULY 1992.

STORMWATER DRAINAGE

- * STORMWATER TO BE MANAGED WITHIN THE CITY OF BRYAN
- * STORMWATER MANAGEMENT ORDINANCES.
- * DETENTION POND PROVIDED ON DEVELOPMENT SITE.
- * DISCHARGE TO STREET SURFACE (NO U.G. STORM DRAINS AVAILABLE)

SITE GRADING & DRAINAGE

- * SEE SHEET C1

BENCHMARK: ELEV.93.99

SEE SHEET C1

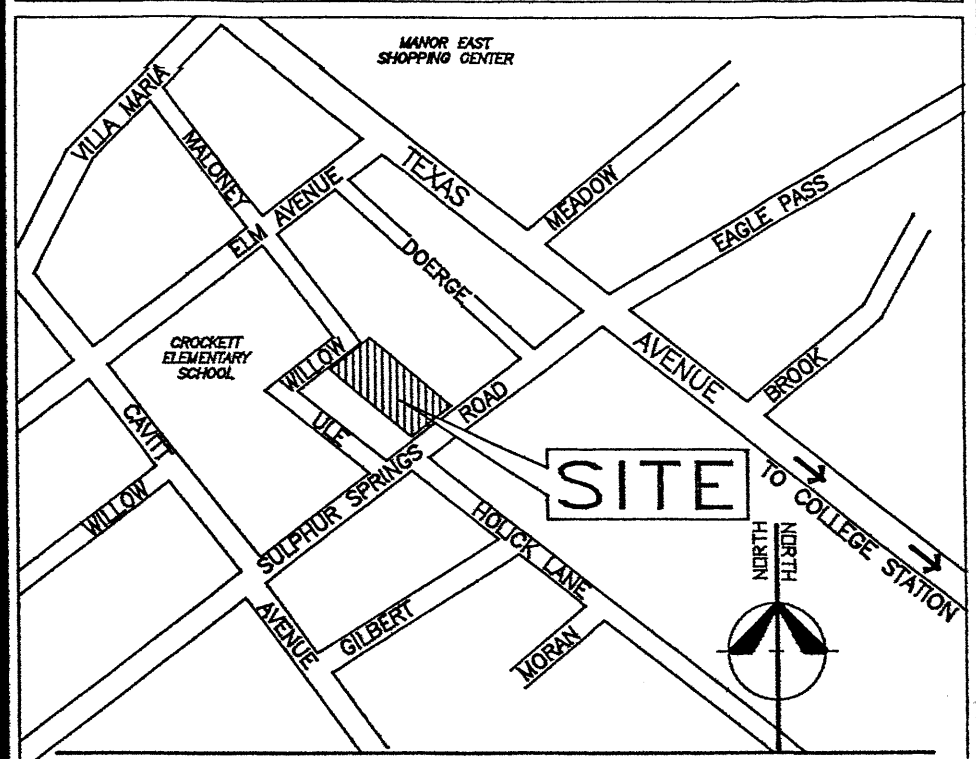
LEGAL DESCRIPTION * LOTS 6,7,8 DOERGE SUBDIVISION

LEGEND

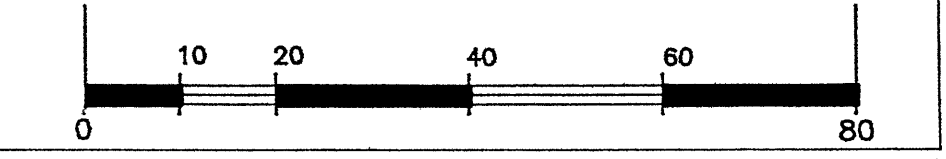
- REMOVE EXISTING CONCRETE CURB (72") - NEW CONC DRIVE
- NEW 5" THK. CONC PAVING W/ #4 BARS @ 18" O.C. BOTH WAYS
- NEW 6" THK. CONC DRIVEWAY W/ #4 BARS @ 12" O.C. BOTH WAYS
- NON-CURBED PAVING EDGE. 12" THICK W/2-#4 CONTINUOUS
- SIDEWALK WHEELCHAIR RAMP (ADA STANDARDS/ 1:12 MAX SLOPE)
- 6" CONCRETE CURB
- TAPERED CURB END
- ROOF DOWNSPOUTS DRAIN TO PAVING SURFACE
- ROOF DOWNSPOUTS TO SPLASH BLOCKS / THEN TO GRASS
- BOLLARDS - 6" PIPE W/CONC FILL
- PLANTER AREA. FILL AND GRADE.
- FILL & GRADE 5' OUT FROM ALL NEW CONC. WALKS & PAVING. MATCH TOP OF CURB & SLOPE TO NATURAL GRADE.
- 4" WIDE PAINTED PARKING LOT STRIPES
- NEW 5" THK. CONC PAVING W/4 BARS @ 12" O.C. BOTH WAYS
- BUILDING SETBACK LINE.
- HANDICAPPED PARKING SIGN
- WOOD SCREENING FENCE - ALONG DEVELOPED PROPERTY FENCE TO MEET CITY ZONING ORDINANCE REQUIREMENTS
- HANDICAPPED PARKING. PAINTED SYMBOL
- SS GREASE TRAP (300 GAL) AND SAMPLING WELL
- 4" PVC SANITARY SEWER LINE (TO EXISTING SS LINE @ STREET)
- 2" PVC WATER SERVICE LINE (METER AT STREET)
- STORMWATER DISCHARGE W/ 2 - 6" BOLLARDS
- PROPOSED TRANSFORMER PAD
- TELEPHONE SERVICE CONDUIT. CONTRACTOR TO FURNISH AND INSTALL. 4" PVC CONDUIT W/ PULL STRING & STUB UP NEAR ELECTRICAL TRANSFORMER PAD.
- 4" BLDG. SANITARY SEWER DISCHARGE TO SS LINE DOWNSTREAM FROM GREASE TRAP AND SAMPLING WELL. (ALL SANITARY CONNECTIONS TO BE BELOW SAMPLING WELL.)
- TRASH ENCLOSURE & DUMPSTER
- STORMWATER DETENTION STRUCTURE. SEE SHEET C2 FOR DETAILS
- SIGN - "SERVICE VEHICLES ONLY"
- GAS SERVICE LINE AND METER (TO BE SIZED BY GAS CO)

GENERAL CONSTRUCTION NOTES

- ADJACENT PROPERTY EDGES TO BE PROTECTED AND RESTORED TO ORIGINAL CONDITION IF NEEDED.
- EXISTING TREES THAT ARE TO BE SAVED ARE TO BE FENCED AS SHOWN BY LANDSCAPING PLAN
- IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS
- IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE AND OBTAIN NECESSARY INSPECTIONS
- ALL TRENCHING GREATER THAN FIVE (5) FEET IN DEPTH SHALL BE ACCOMPLISHED IN COMPLIANCE WITH REGULATIONS ESTABLISHED IN THE OSHA - SAFETY AND HEALTH REGULATIONS, PART 1926. SUPPORT P- EXCAVATIONS TRENCHING AND SHORING; AS CURRENTLY REVISED AND AMENDED



SCALE 1"=20'



M.L. HAMMONS, P.E.

SHELDON SIMANK

SITE PLAN

781PSP
SHEET NUMBER:
SP
ISSUE DATE: 3/21/97

1700 KYLE SOUTH, SUITE 240
COLLEGE STATION, TEXAS 77840
(409) 696-1444

1609 WOODLAND
BRYAN, TEXAS 77802
(409) 779-6417

BUPPY'S CATERING
506 SULPHUR SPRINGS ROAD
BRYAN, TEXAS



Proposed 20' X 30' addition for
fire room and storage.

Road and
Bridge
Department



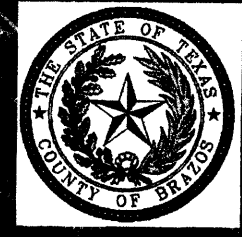
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0 50 100 200
Feet

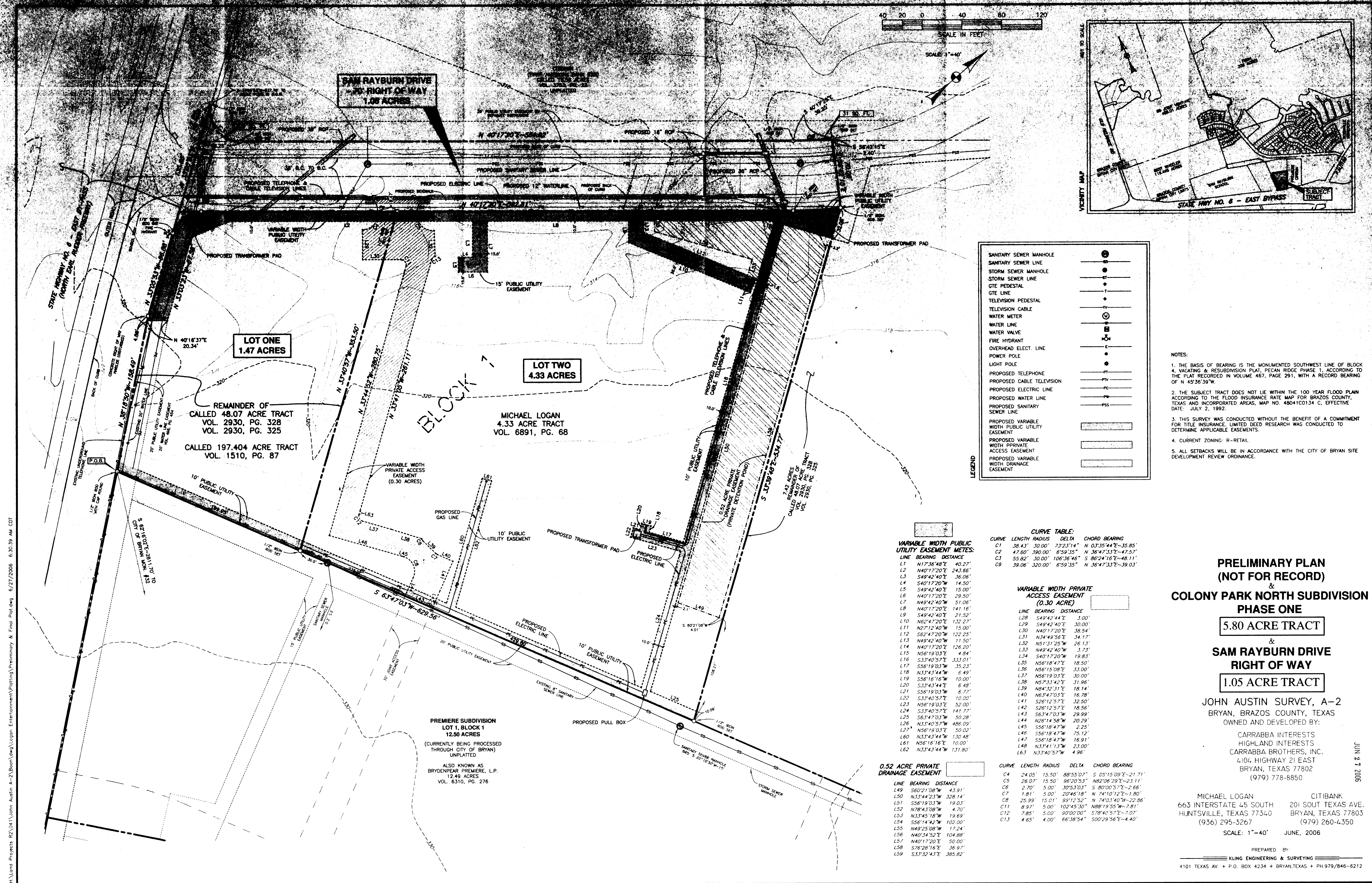
SITE PLAN

Proposed Building Addition

BRAZOS COUNTY
Road and Bridge Department



Date published: 03 July 2006
Created by: Doug O'Brien
Notes: For referential use only
Aerial imagery taken in 2002
(City of Bryan 1' resolution)



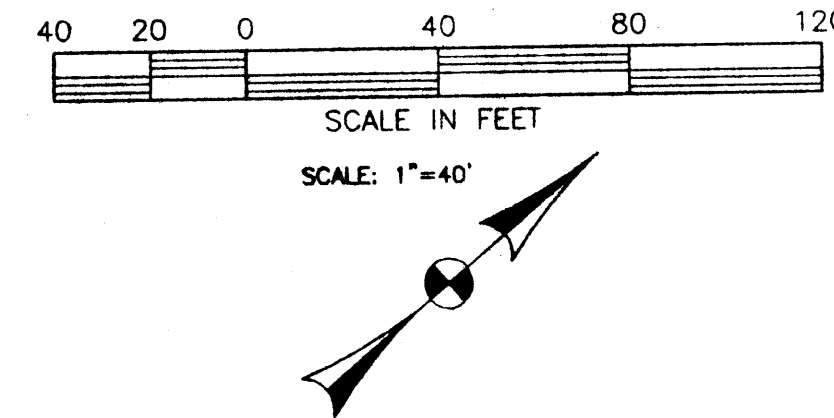
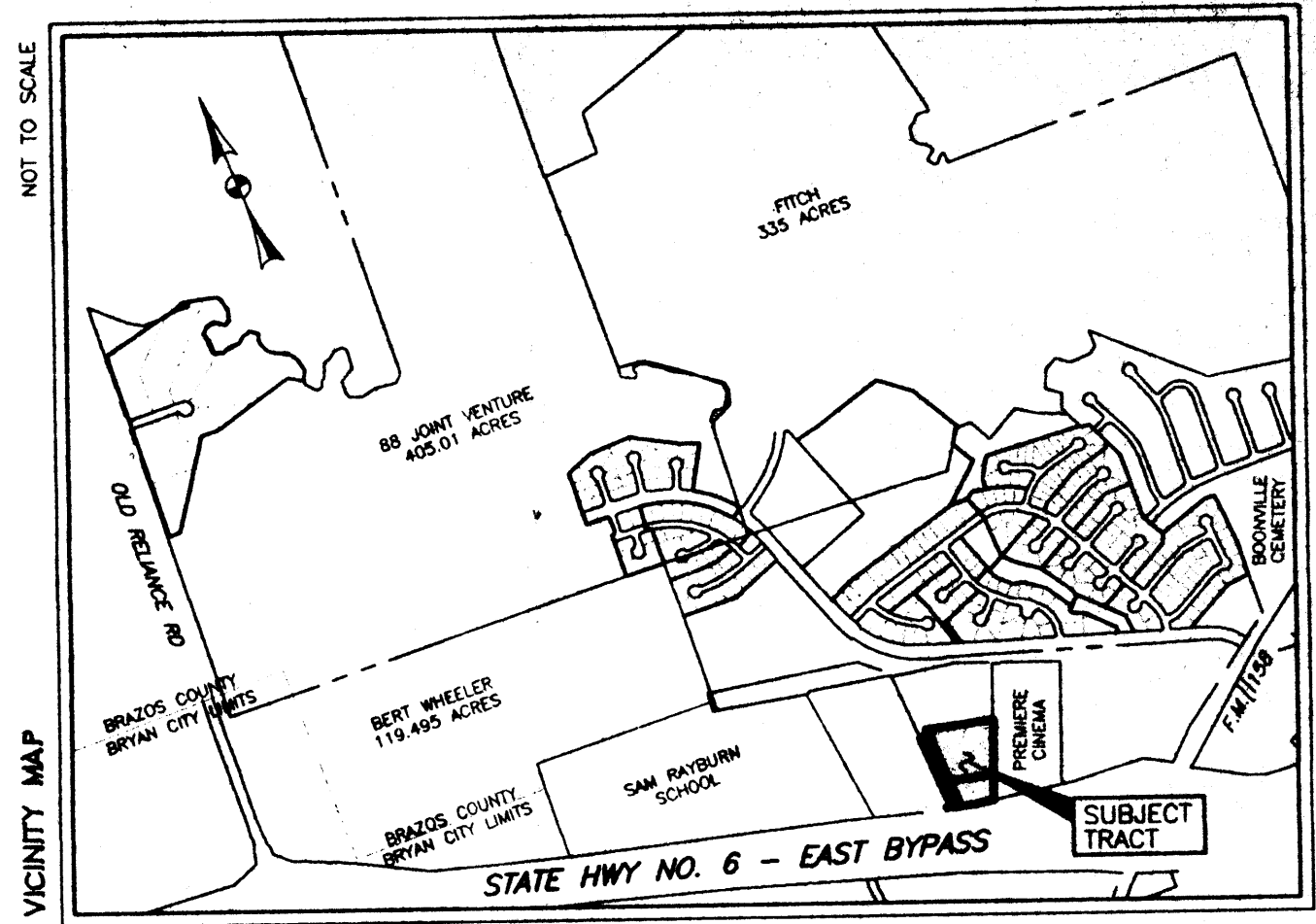
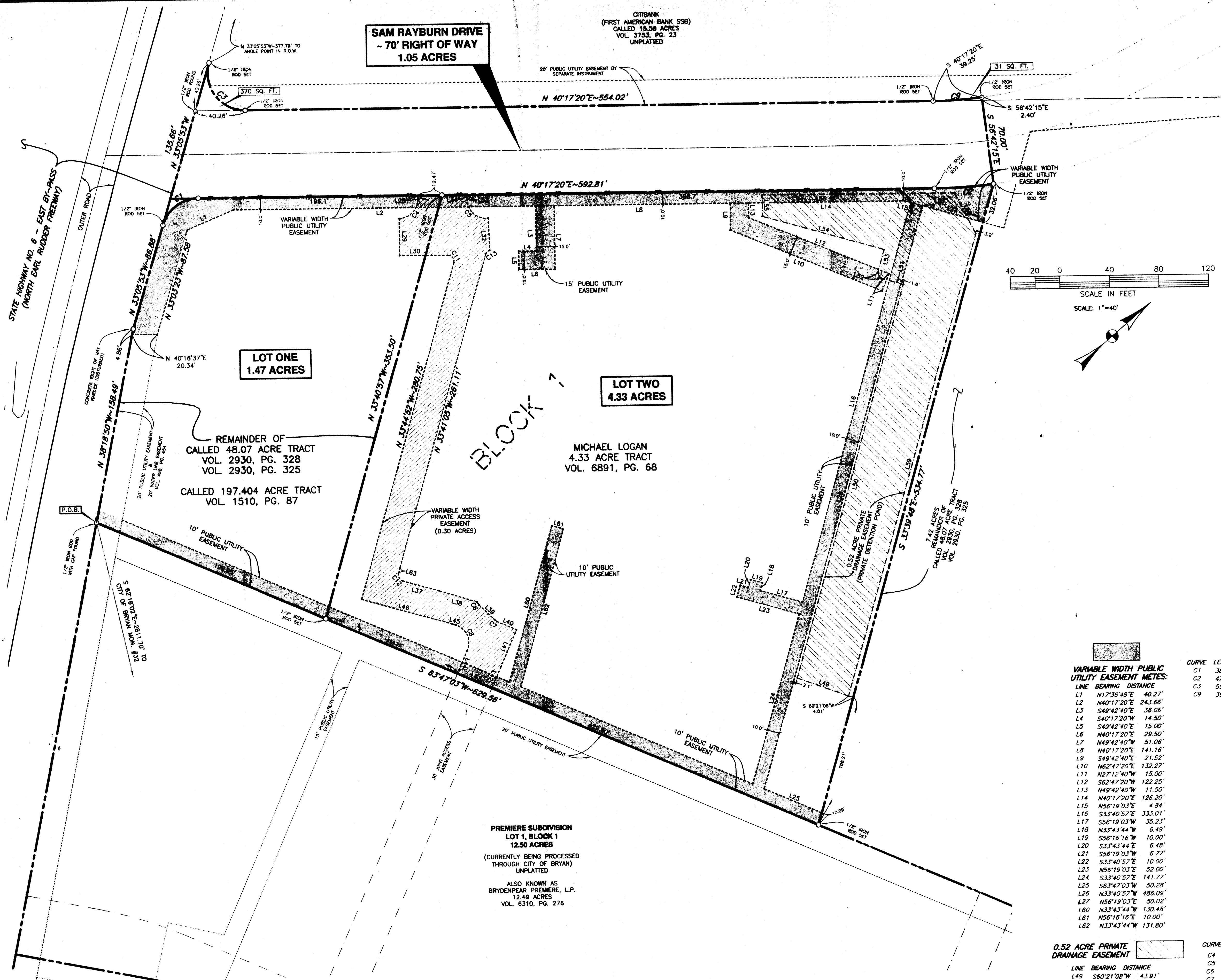
**PRELIMINARY PLAN
(NOT FOR RECORD)
&
COLONY PARK NORTH SUBDIVISION
PHASE ONE
5.80 ACRE TRACT
&
SAM RAYBURN DRIVE
RIGHT OF WAY
1.05 ACRE TRACT**

JOHN AUSTIN SURVEY, A-2
BRYAN, BRAZOS COUNTY, TEXAS
OWNED AND DEVELOPED BY:
CARRABBA INTERESTS
HIGHLAND INTERESTS
CARRABBA BROTHERS, INC.
4104 HIGHWAY 21 EAST
BRYAN, TEXAS 77802
(979) 778-8850

MICHAEL LOGAN
663 INTERSTATE 45 SOUTH
HUNTSVILLE, TEXAS 77340
(936) 295-3267

CITIBANK
201 SOUT TEXAS AVE.
BRYAN, TEXAS 77803
(979) 260-4350

SCALE: 1"=40'
JUNE, 2006
PREPARED BY:
KLING ENGINEERING & SURVEYING
4101 TEXAS AV. + P.O. BOX 4234 + BRYAN, TEXAS + PH 979/846-6212



- NOTES:
1. THE BASIS OF BEARING IS THE MONUMENTED SOUTHWEST LINE OF BLOCK 4, VACATING & RESUBDIVISION PLAT, PECAN RIDGE PHASE 1, ACCORDING TO THE PLAT RECORDED IN VOLUME 467, PAGE 291, WITH A RECORD BEARING OF N 45°36'39\"
 2. THE SUBJECT TRACT DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR BRAZOS COUNTY, TEXAS AND INCORPORATED AREAS, MAP NO. 48041C0134 C, EFFECTIVE DATE: JULY 2, 1992.
 3. THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE. LIMITED DEED RESEARCH WAS CONDUCTED TO DETERMINE APPLICABLE EASEMENTS.
 4. CURRENT ZONING: R-RETAIL.
 5. ALL SETBACKS WILL BE IN ACCORDANCE WITH THE CITY OF BRYAN SITE DEVELOPMENT REVIEW ORDINANCE.
 6. SEE PAGE 2 OF 2 FOR FIELD NOTES AND SIGNATURE BLOCKS.
 7. ALL SETBACKS WILL BE IN ACCORDANCE WITH CITY OF BRYAN SITE DEVELOPMENT REVIEW ORDINANCE.

**VARIABLE WIDTH PUBLIC
UTILITY EASEMENT METES:**

LINE BEARING DISTANCE

L1	N17°36'48"E	40.27'
L2	N40°17'20"E	243.66'
L3	S49°42'40"E	36.06'
L4	S40°17'20"W	14.50'
L5	S49°42'40"E	15.00'
L6	N40°17'20"E	29.50'
L7	N49°42'40"W	51.06'
L8	N40°17'20"E	141.16'
L9	S49°42'40"E	21.52'
L10	N62°47'20"E	132.27'
L11	N27°12'40"W	15.00'
L12	S62°47'20"W	122.25'
L13	N49°42'40"W	111.50'
L14	N40°17'20"E	126.20'
L15	N56°19'03"E	4.84'
L16	S33°40'57"E	333.01'
L17	S56°19'03"E	35.23'
L18	N33°43'44"W	6.49'
L19	S56°16'16"W	10.00'
L20	S33°43'44"E	6.48'
L21	S56°19'03"W	6.77'
L22	S33°40'57"E	10.00'
L23	N56°19'03"E	62.00'
L24	S33°40'57"E	14.77'
L25	S63°47'03"W	50.28'
L26	N33°40'57"E	486.09'
L27	N56°19'03"E	50.02'
L60	N33°43'44"W	130.48'
L61	N56°16'16"E	10.00'
L62	N33°43'44"W	131.80'

CURVE TABLE:

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	38.43'	30.00'	73°23'14"	N 03°35'44"E-35.85'
C2	47.60'	390.00'	6°59'35"	N 36°47'33"E-47.57'
C3	55.82'	30.00'	106°36'46"	S 86°24'16"E-48.11'
C9	39.06'	320.00'	6°59'35"	N 36°47'33"E-39.03'

**VARIABLE WIDTH PRIVATE
ACCESS EASEMENT
(0.30 ACRE)**

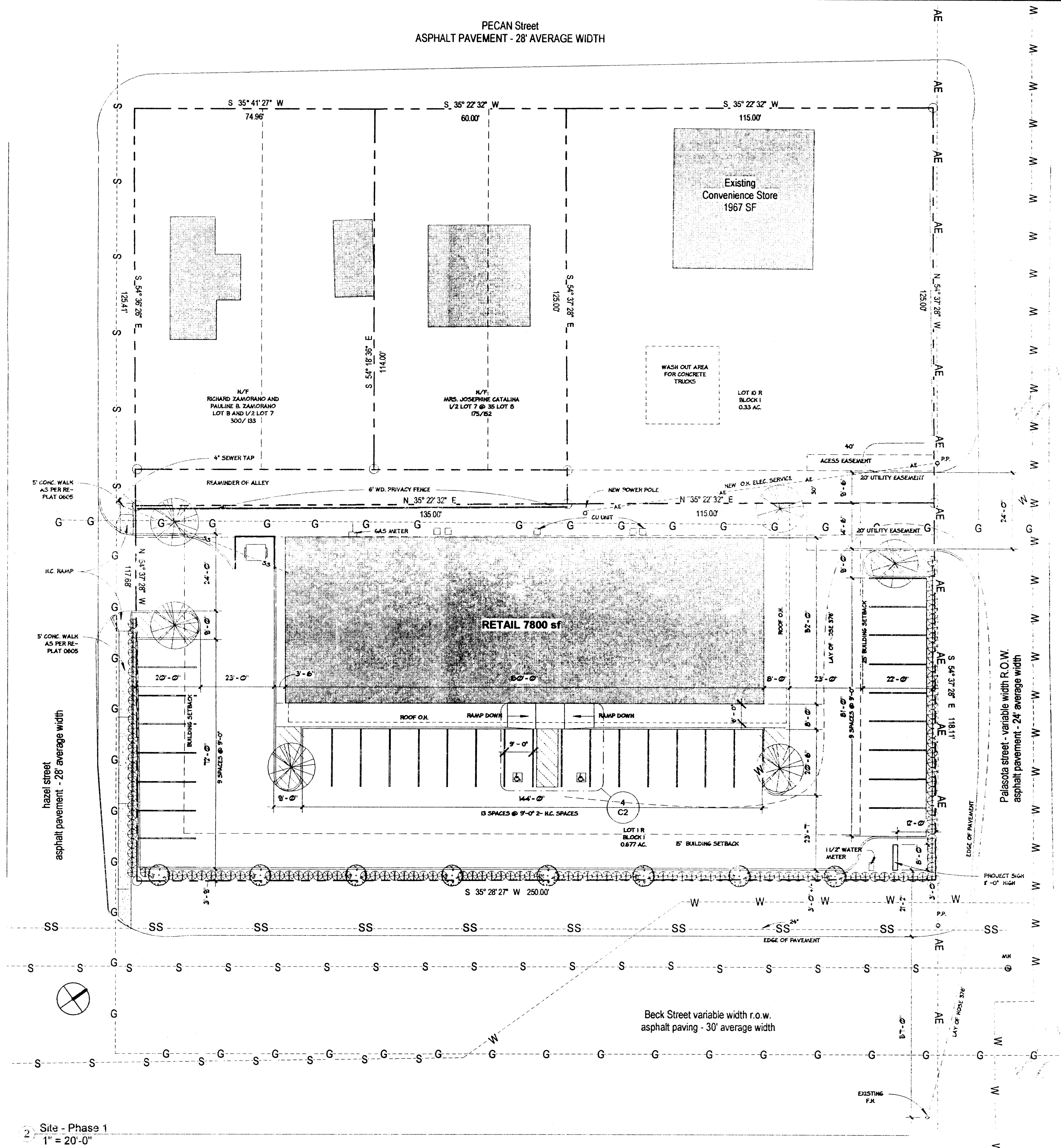
LINE BEARING DISTANCE

L28	S49°42'44"E	3.00'
L29	S49°42'40"E	30.00'
L30	N40°17'20"E	38.54'
L31	N34°49'56"E	34.17'
L32	N51°31'25"W	26.13'
L33	N49°42'40"W	3.73'
L34	S40°17'20"W	19.83'
L35	N56°18'47"E	18.50'
L36	N56°15'08"E	33.00'
L37	N56°19'03"E	30.00'
L38	N57°33'42"E	31.96'
L39	N84°32'31"E	18.14'
L40	N63°47'03"E	16.78'
L41	S26°12'57"E	32.50'
L42	S26°12'57"E	18.58'
L43	S63°47'03"W	29.99'
L44	N26°14'58"W	20.29'
L45	S56°18'47"W	2.25'
L46	S56°18'47"W	75.12'
L47	S56°18'47"W	16.91'
L48	N33°41'13"W	23.00'
L63	N33°40'57"W	4.96'

FINAL PLAT
&
COLONY PARK NORTH SUBDIVISION
PHASE ONE
5.80 ACRE TRACT
&
SAM RAYBURN DRIVE
RIGHT OF WAY
1.05 ACRE TRACT
JOHN AUSTIN SURVEY, A-2
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PAGE 1 OF 2
PREPARED BY:
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4101 TEXAS AV. + P.O. BOX 4234 + BRYAN, TEXAS + PH. 979/846-6212

PECAN Street
ASPHALT PAVEMENT - 28' AVERAGE WIDTH

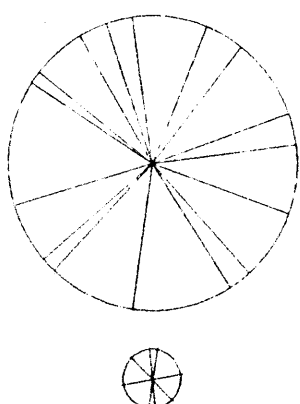


2) Site - Phase 1
1" = 20'-0"



CREPE MYRTLE
LAEGERSTREKIANA INDICA
1 1/2" - 2"

ST. ANSGUSTINE 500



BRADFORD PEAR -
PYRUS CALLERYANA
BRADFORD 1 1/2" - 3"

INDIAN HAWTHORN - 2 GAL

Parking Requirements

Building Use - Mercantile - Single Story
Required parking - 7,800 sf / 250 sf per space = 32 spaces
Provided Parking - 9' x 20 space = 31
H.C. spaces = 2
33 spaces

General Notes

- This property is not in the 100 year flood zone.
- Building is single story.
- Site is not preparing food.
- Waste shall be normal Domestic Waste.
- The Contractor shall be responsible for containment and proper disposal of all liquid and solid waste associated with this project. The contractor shall use all means necessary to prevent the occurrence of wind blown litter from this project

Landscape Requirements

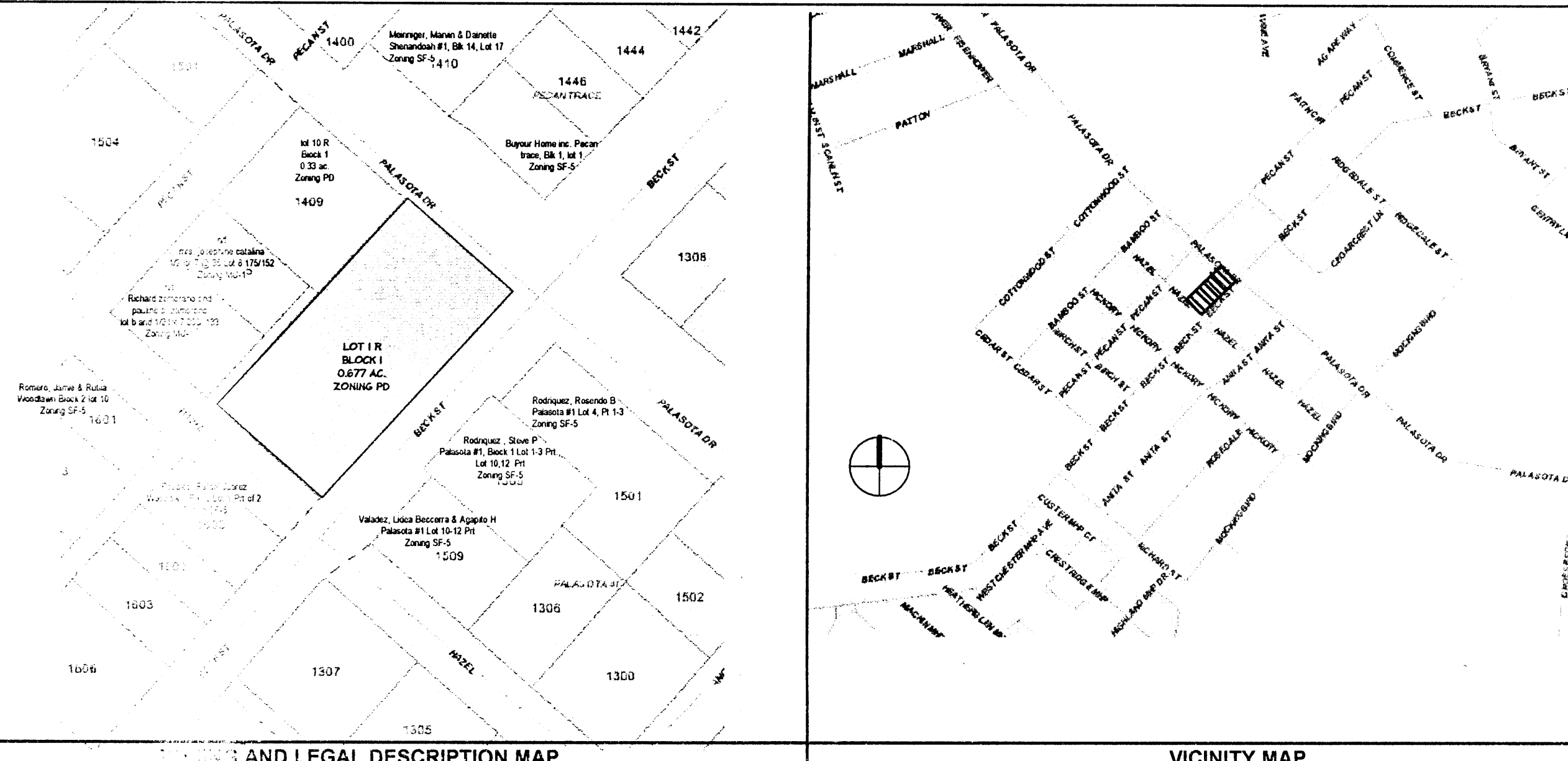
Impervious cover- Allowance- 29,473 sf @ 90% = 26,526 sf

Actual - building - 7,800 sf
Parking - 16,384 sf
Sidewalk - 1,616 sf
Actual Total - 25,800 sf

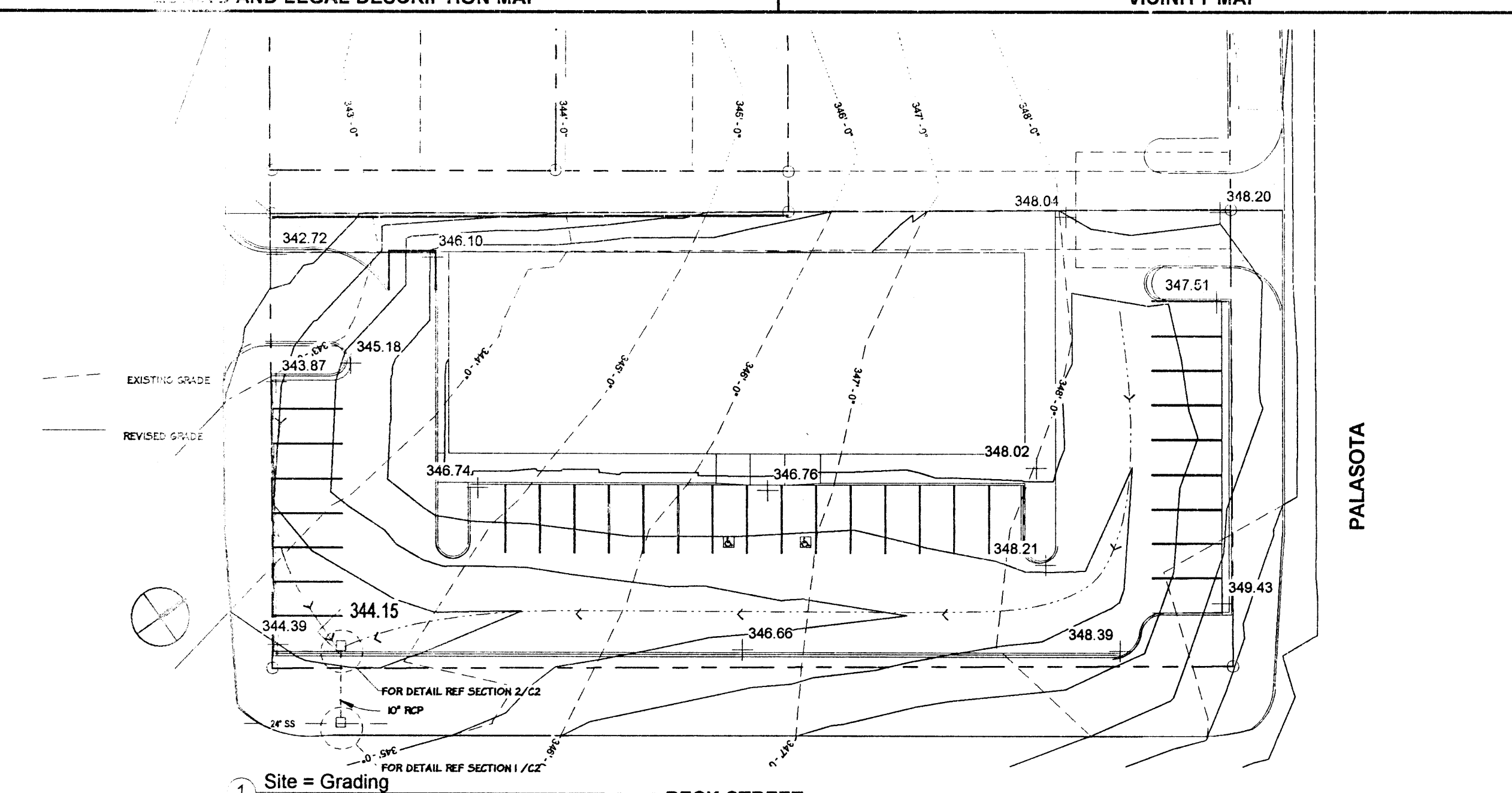
Planting requirements - 29,473 sf x 15% = 4,420 sf

Trees - 4,420 sf x 50% = 2,210 sf
50% Canopy Trees 1,105 sf / 200 sf/tree = 6 trees
50% Non Canopy Trees - 1,105 sf / 150 sf/tree = 8 trees

Right a way Screening - 403 lf / 3 = 134 shrubs

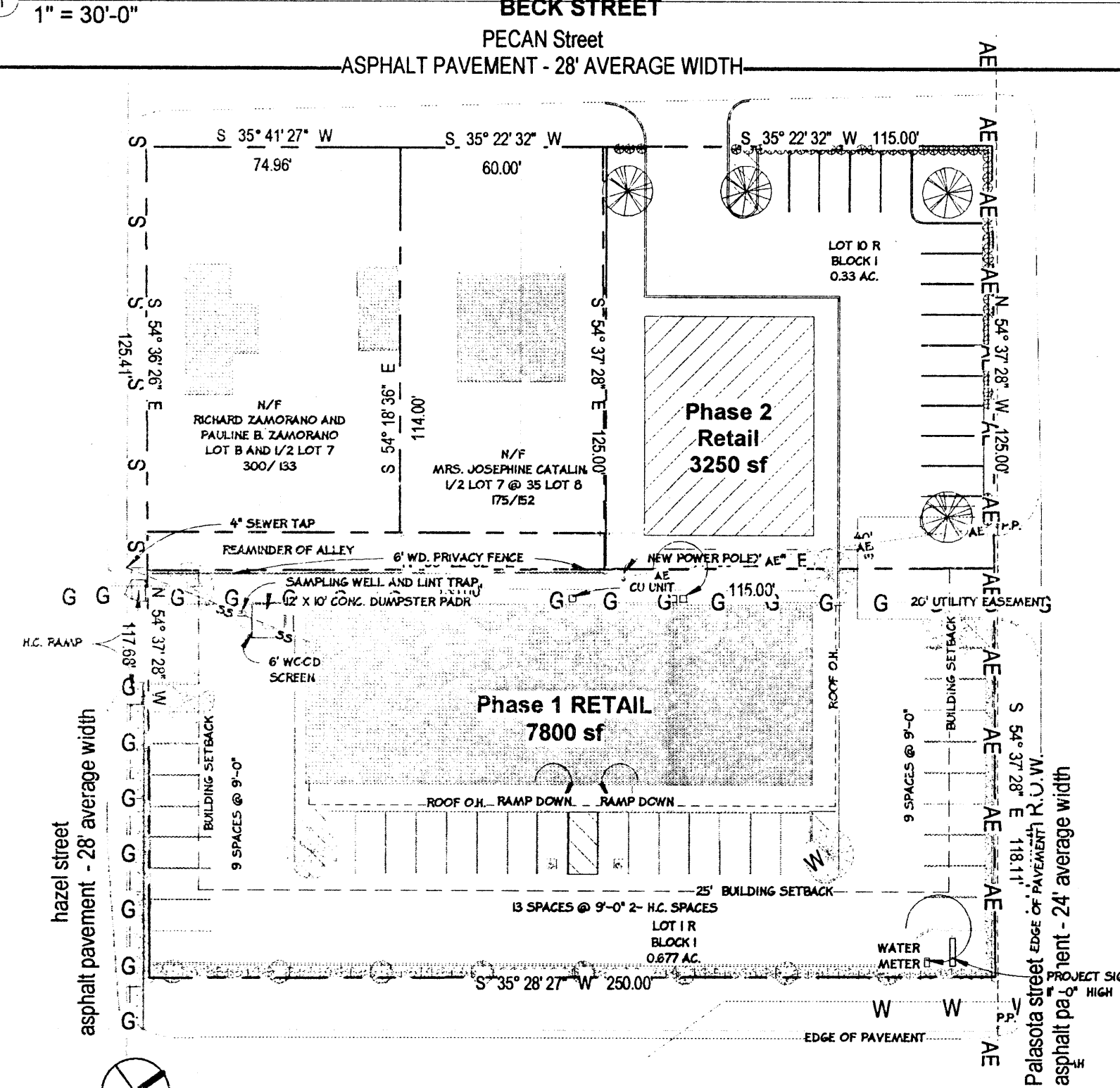


VICINITY MAP



1) Site = Grading
1" = 30'-0"

BECK STREET
PECAN Street
ASPHALT PAVEMENT - 28' AVERAGE WIDTH



8) Site - Phase 2
1" = 40'-0"

Beck Street variable width r.o.w.
asphalt paving - 30' average width

JUN 28 2006

Sheet Issue Date:
06/28/06
Drawn By: BS

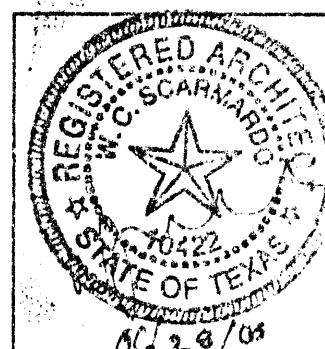
Revision

WCS
architects interiors
P.O. Box 8552 2200 Crane Ave. Bryan, TX 77801 off 979.779.3336 fax 979.779.3424

Palasota Center
1500 Beck Street
Bryan, Texas 77803
SHEET NAME
Site Plan

Legal Description

Lot 1R - Block 1
Woodlawn Addition
Owner
Attig Kahn



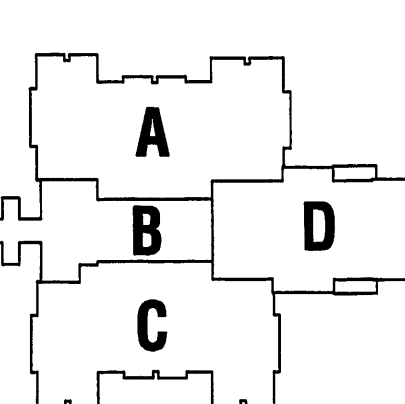
C1

1211
Project No.
SKT/JC
Drawn By
GCW
Checked By
5/26/06
Date
6/28/06
Revision Date

Mitchell & Morgan, LLP
Civil Engineer
Conti, Jumper, Gardner & Associates, Inc.
Structural Engineer
R.H. George & Associates, Inc.
MEPEngineer
Mullinzi and Associates
Food Service Consultant
Amtech Roofing Consultants, Inc.
Roofing Consultant

Bonham Elementary School

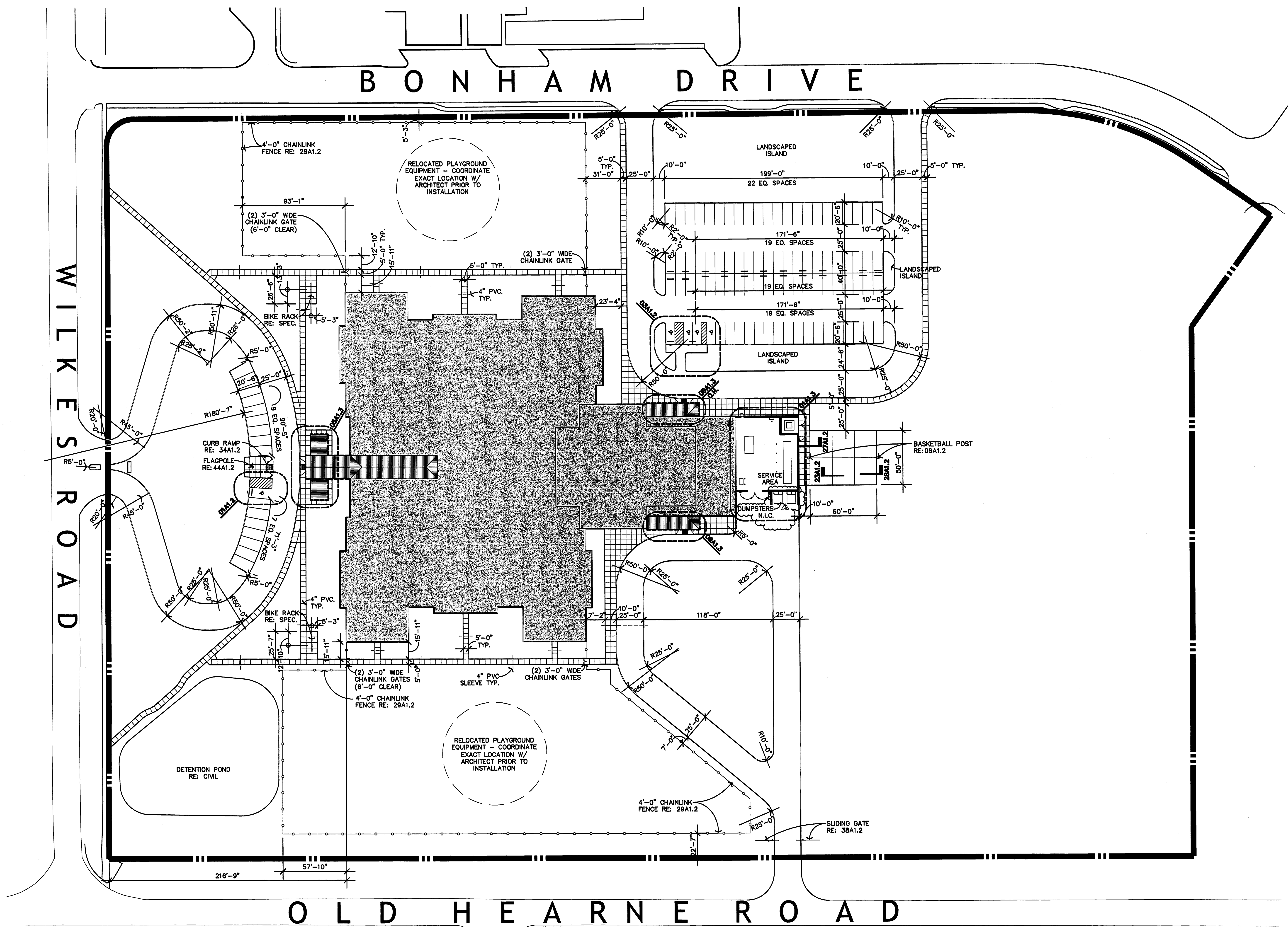
Bryan Independent School District



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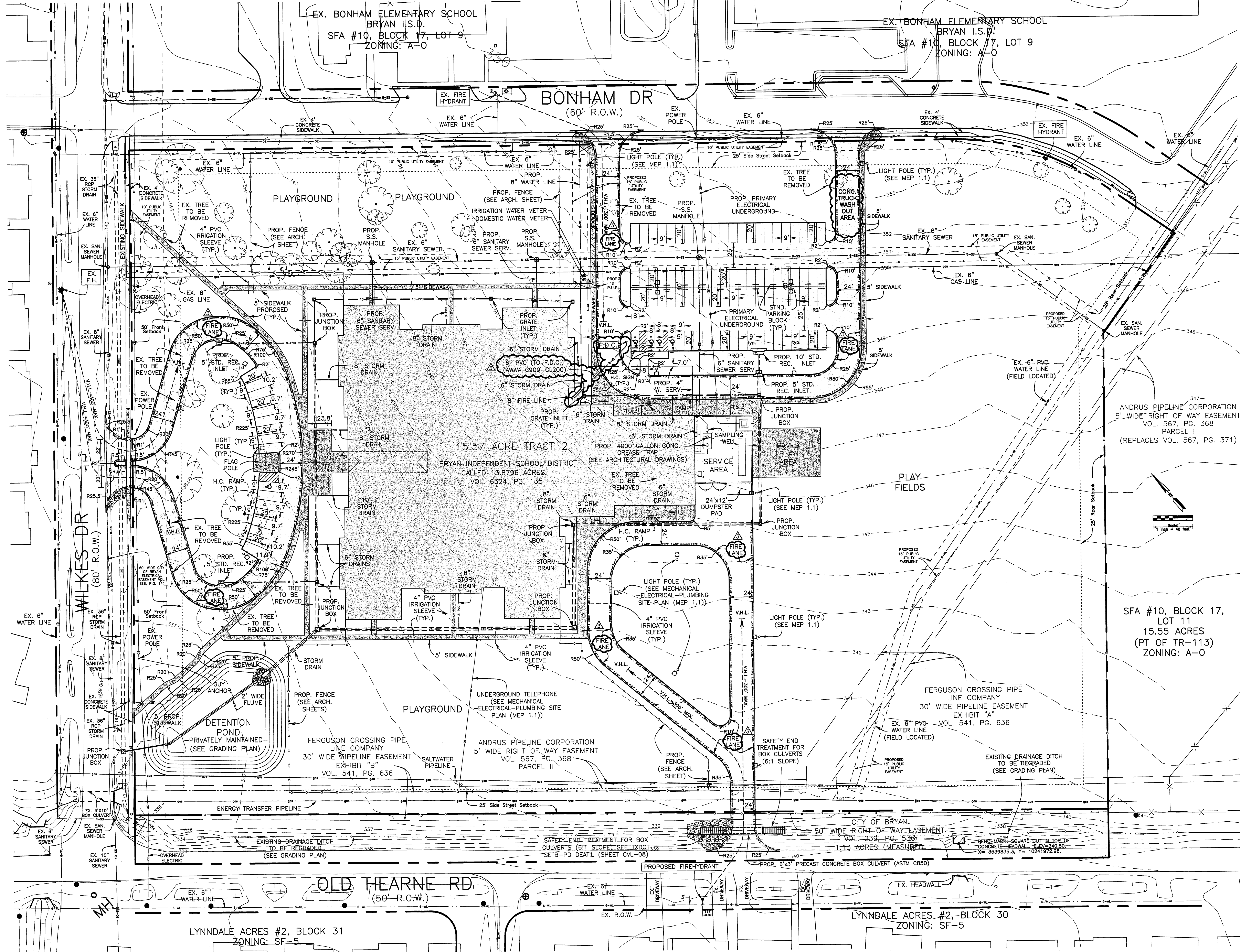


ARCHITECTS
SBWV Architects, Inc.
3040 Post Oak Boulevard, Suite 1220
Houston, Texas 77056
(713) 622-1448



SITE PLAN NOTES:
1. ALL DIMENSIONS ARE TO BACK OF CURB.

BENCHMARK: SQUARE CUT IN TOP OF CONCRETE HEADWALL NORTHEAST OF OLD HEARNE ROAD. ELEV=340.50, X= 3539835.3, Y= 10241972.98.



FIRE LANE

DESIGNATED
PARKING
ONLY

FIRE LANE SIGN

All curbs and curb ends designated as firelanes on plans shall be painted red with 4" (four inch) white lettering stating "FIRE LANE-NO PARKING-TOW AWAY ZONE".

Wording may not be spaced for more than fifteen (15) feet apart.

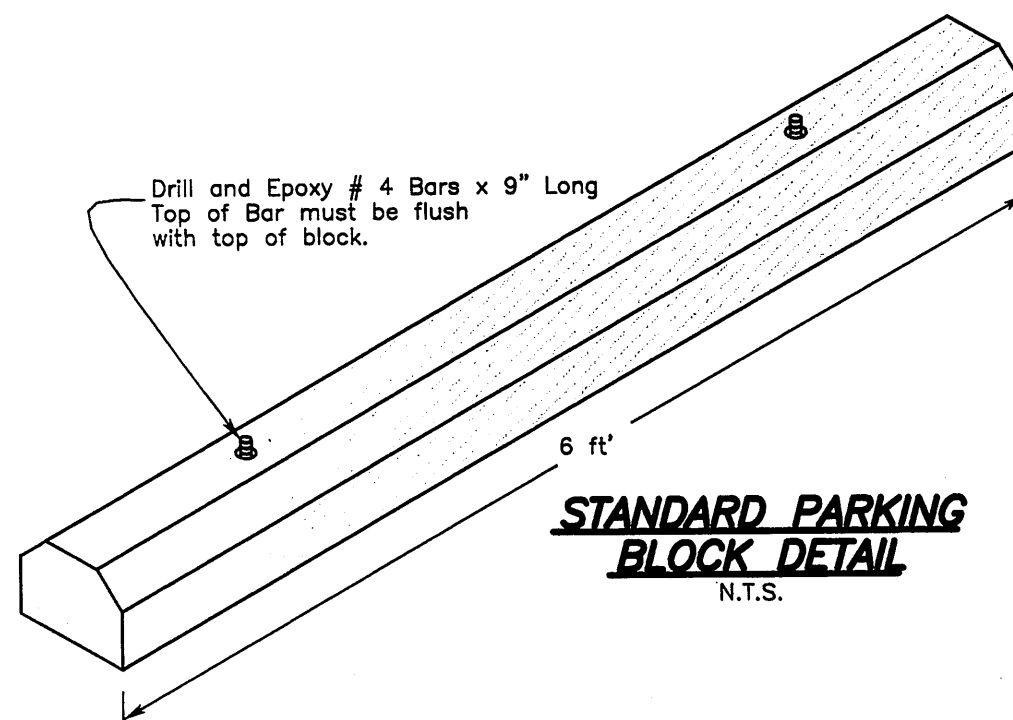
* 8" (eight inch) high stripe and white lettering are painted on surface of pavement.

18" x 12"

See Ordinance for additional information

SITE PLAN

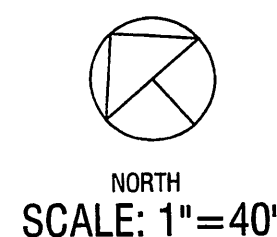
SCALE: 1"=40'



PARKING REQUIREMENTS:

SITE USE: ELEMENTARY SCHOOL
PARKING REQUIREMENTS: 1 SPACE/20 STUDENTS

MAX. STUDENTS= 650 STUDENTS 650/20=32.50
MINIMUM PARKING SPACES REQUIRED: 33 SPACES
TOTAL PARKING SPACES PROVIDED: 104 SPACES
(INCLUDED 5 H.C. ACCESSIBLE PARKING SPACES)



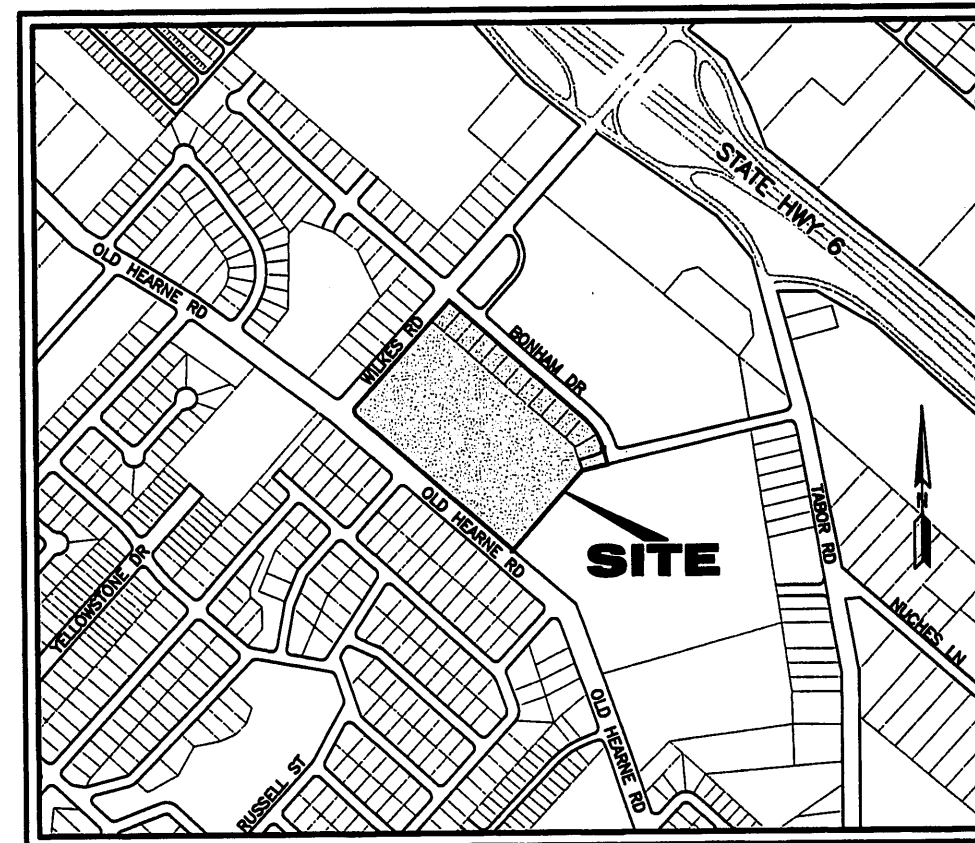
REVISIONS	
ADDENDUM #3	PER CITY COMMENTS
FDC & FIRE LANE LOCATION	06/06/16

T. 979.260.6963
F. 979.260.3564
511 UNIVERSITY DRIVE EAST
SUITE 204
COLLEGE STATION, TX 77840
PLAN & DESIGN SPECIFICATIONS IN
CIVIL ENGINEERING • HYDRAULICS
HYDROLOGY • UTILITIES • STREETS
SITE PLANS & SUBDIVISIONS
www.mitchellandmorgan.com

MITCHELL
MORGAN

SITE
PLAN

CVL01



VICINITY MAP
NOT TO SCALE

GENERAL CONSTRUCTION NOTES:

- It shall be the responsibility of the Contractor to verify the exact location of ALL existing underground utilities. Furthermore, the Contractor shall contact all utility company representatives a minimum of 48 hours in advance of any excavation.
 - Contact Dig Toss @ 1-800-344-8377
 - Contact Kimberly Winn @ ONCOR. 774-2506
 - Contact Mike Lavender @ Cox Cable 846-2229
 - Contact Isobel Cantu @ BTU 821-5770
 - Contact Mitchell Gas @ 779-4460
 - Contact Union Pacific Resources @ 778-8525
- All construction shall be in accordance with the current City of Bryan Standard Specifications for Street Construction and City of Bryan Water and Sewer Specifications. All inspection shall be performed by the staff of the City Engineer of Bryan. All construction shall be coordinated with the City of Bryan City Engineer.
- In lieu of using the construction materials indicated in these plans, the Contractor shall obtain written approval from the City Engineer for any substitution prior to construction. Requests for changes should include product information and an engineers seal where applicable. The contractor shall be financially responsible for the engineer's time spent reviewing changes and redesigning based on contractors requests.
- Trench Safety Requirements shall be in accordance with O.S.H.A. Standard 29 CFR Part 1926 Subpart P. For general requirements, see Sheet CVL-08 for details.
- TRENCHING AND BACKFILLING: All trenching and backfilling shall conform to the specifications set out herein. Testing shall be provided by a certified laboratory, at the Owner's expense, to verify these standards. Any retesting due to substandard work shall be at the expense of the Contractor. Structural areas shall include all sidewalks and shall extend 5' beyond the curb lines of all streets, alleys and parking areas.
- It is the responsibility of the contractor to comply with all State and Federal Regulations regarding construction activities near energized overhead power lines. Additionally, the contractor shall coordinate all proposed work and procedures with the City of Bryan Electrical Division and where applicable, Bryan Rural Electrical Department.
- All materials & labor not identified as a Separate Bid Item shall be considered subsidiary to the item in which it is used. All materials and equipment shall be both furnished and installed unless otherwise noted.
- The Contractor must provide construction staking from the information provide on these plans.
- All soil exposed by construction shall receive cellulose fiber mulch seeding.
- Trenches may be left open overnight if properly barricaded.
- Adjustment of Water Meters, Valves, Manholes, Irrigation Systems, and any other Public or Private Utility, etc. are not separate pay items. The Price of the adjustment shall be subsidiary to the construction of Sewer Line, Force Main, etc.
- The contractor shall coordinate with Texas Utilities, Cox Communications, BTU, and Verizon to adjust the location of Existing facilities.
- The contractor is responsible for traffic control. This is not a separate pay item.
- All RCP shall be Class III per ASTM C76. Where two pipes are parallel, one foot clear shall be required between the pipes.
- The Contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The Contractor shall use all means necessary to prevent the occurrence of wind blown litter from the project site.
- Solid Waste Roll-off Boxes/Metal Dumpsters shall be supplied by City or City permitted contractor(s) only.

SITE PLAN NOTES:

- Name of Project: Bonham Elementary School
- Legal Description: Siegert Subdivision Sec. 2, Phase 1, Block 1, lots 1-15 & SFA#10, Block 17, part of Lot 11 (12.75 Acre tract)
- Owner: Bryan Independent School District (BISD)
101 N. Texas Ave.
Bryan, Texas 77803-5315
- Civil Engineer: Mitchell & Morgan, L.L.P.
511 University Drive East, Suite 204
College Station, Texas 77840
(979) 260-6963
- Zoning: A-O (Agricultural Open) & SF-5 (Single Family 5000)
- Existing Use: Vacant. Proposed Use: Institutional
- Setbacks: Per City of Bryan Ordinances
- Site Area: 15.57 acres

No portion of this site lies within the 100-year floodplain per FEMA's Flood Insurance Rate Map panel 48041C0131C.
Effective date: July 2, 1992.

1211
Project No.
JUU
Drawn By
JMM
Checked By
5/26/06
Date
6/28/06
Revision Date

Mitchell & Morgan, LLP
Civil Engineer

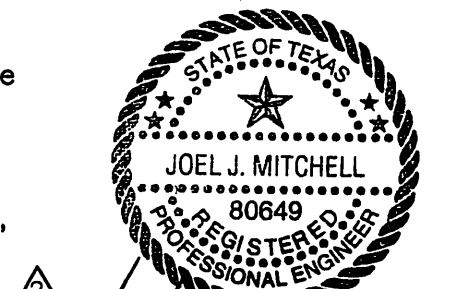
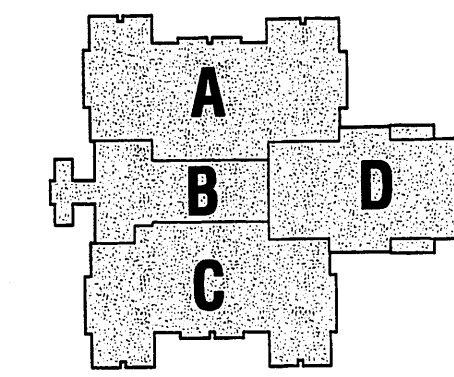
Conti, Jumper, Gardner &
Associates, Inc.
Structural Engineer

R.H. George & Associates, Inc.
MEPEngineer

Mullinzi and Associates
Food Service Consultant

Amtech Roofing
Consultants, Inc.
Roofing Consultant

Bonham Elementary School
Bryan Independent School District

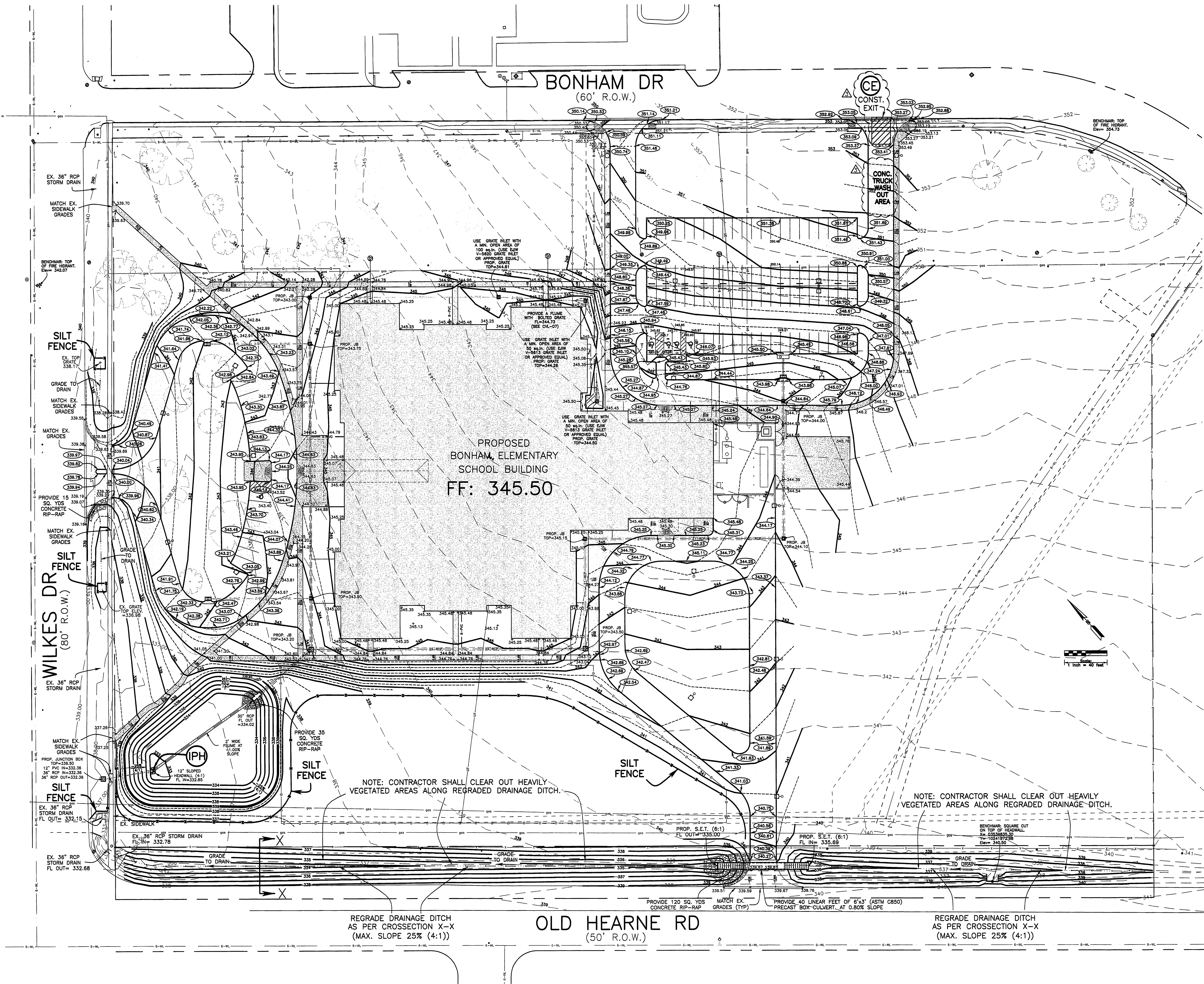


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ARCHITECTS
SBW Architects, Inc.
3040 Post Oak Boulevard, Suite 1220
Houston, Texas 77056
(713) 622-1448

BENCHMARK: SQUARE CUT IN TOP OF CONCRETE HEADWALL NORTHEAST OF OLD HEARNE ROAD. ELEV=340.50, X= 3539835.3, Y= 10241972.98.

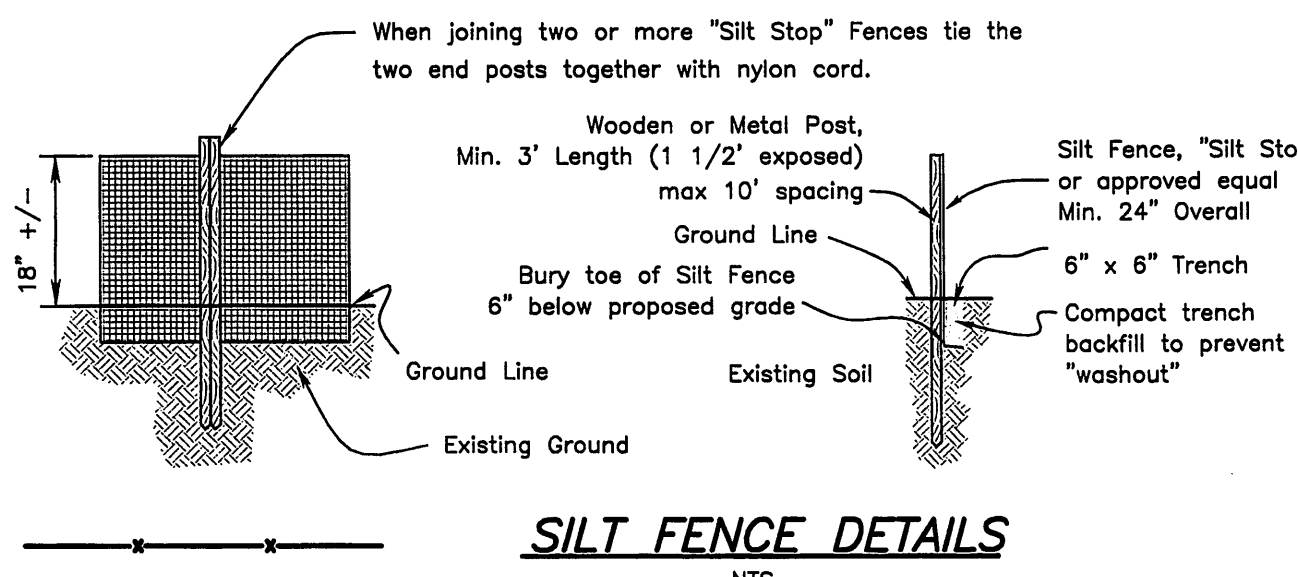


GRADING AND EROSION CONTROL PLAN

SCALE: 1"=40'

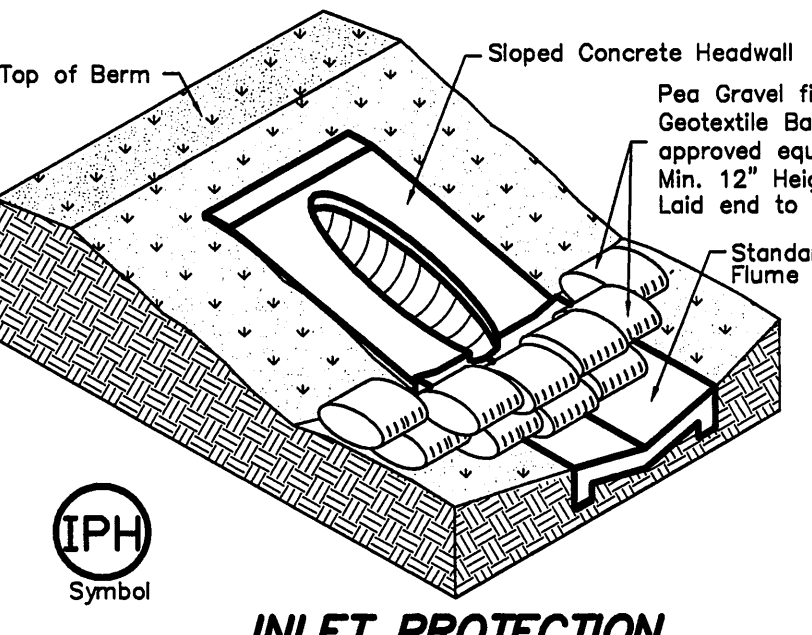
CROSS SECTION X-X

NOT TO SCALE



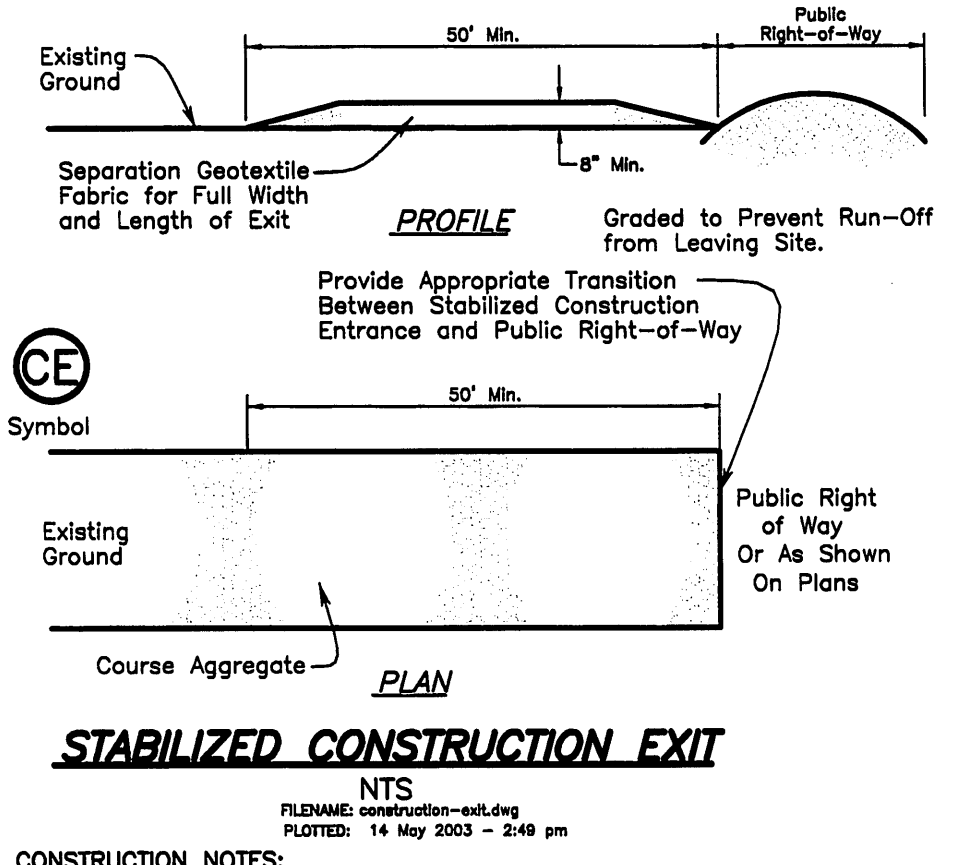
GRADING LEGEND	
---	Property Line
---	Existing Grade
---	Proposed Grade
---	Proposed Grade
---	Existing Gas Lines
---	Existing Electrical Lines
---	Existing Sanitary Sewer Lines
---	Existing Water Lines
---	Proposed Sanitary Sewer Lines
---	Proposed Water Lines
---	Proposed T/P Elevation
---	Proposed T/C Elevation
---	Trees to Remain
---	Trees to be Removed

- STORM WATER POLLUTION PREVENTION PLAN GENERAL NOTES**
- FL2000: Sewer/Storm-Design-APP-002.dwg
PLOT00: 28-Jul-2004 - 4:40 pm
1. All contractor vehicles, including employee's vehicles, shall park within the project site to minimize traffic on the public streets adjacent to the work site entrance. Contractor will provide sufficient parking areas to accommodate his vehicles. Any areas disturbed or destroyed by vehicular parking will be repaired to original condition prior to completion of project.
 2. Contractors shall ensure that no dirt from the project accumulates in the existing streets. If dirt or debris from the project site accumulates on adjacent streets, the contractor shall immediately clean those areas.
 3. Contractor shall place erosion control protection at appropriate downstream locations to minimize silt and debris from leaving the construction site and entering the drainage system.
 4. If required on the plans, the contractor shall maintain a vehicle wash down area of sufficient size and in a location to facilitate cleaning his vehicles prior to leaving the work site.
 5. Once vegetation is well established contractor is responsible for removing all temporary erosion control measures (i.e. silt fences, rock check dams, etc.)
 6. Structural controls shall be installed as soon after clearing as practical and maintained in good working order until the site is stabilized.
 7. Alternate structural controls may be utilized if approved by Engineer.
 8. The contractor shall comply with the TCEQ STORM WATER DISCHARGE PROGRAM and is responsible for completing and filing the appropriate forms.



INLET PROTECTION FOR SLOPED HEADWALL

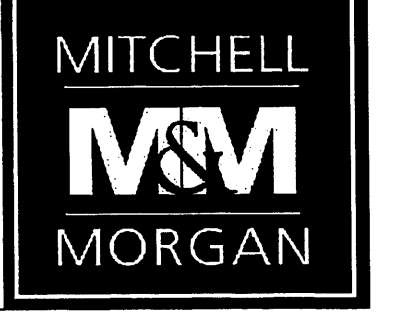
FOR USE ON UPSTREAM END OF ALL CULVERTS



- CONSTRUCTION NOTES:**
1. Length shall be as shown on the construction drawings, but not less than 50 feet.
 2. Thickness shall be not less than 8 inches.
 3. Width shall be not less than full width of all points of ingress and egress.
 4. Stabilization for other areas shall have the same aggregate thickness and width requirements as the stabilized construction exit, unless otherwise shown on the construction drawings.
 5. Stabilized area may be widened or lengthened to accommodate a truck washing area. An outlet sediment trap must be provided for the truck washing area.
 6. Contractor to submit location of stabilized construction exit for approval.

REVISIONS	
ADDENDUM #4	PER CITY COMMENTS

T: 979.260.6963
F: 979.260.3564
511 UNIVERSITY DRIVE EAST
SUITE 200
COLLEGE STATION, TX 77840
PLAN & DESIGN SPECIALISTS IN
CIVIL ENGINEERING • HYDRAULICS
WATERLOGISTICS • UTILITIES • STREETS
SITE PLANS • SUBDIVISIONS
www.mitchellandmorgan.com



1211
Project No.
JUJ
Drawn By
JJM
Checked By
5/26/06
Date
6/28/06
Revision Date

Mitchell & Morgan, LLP
Civil Engineer

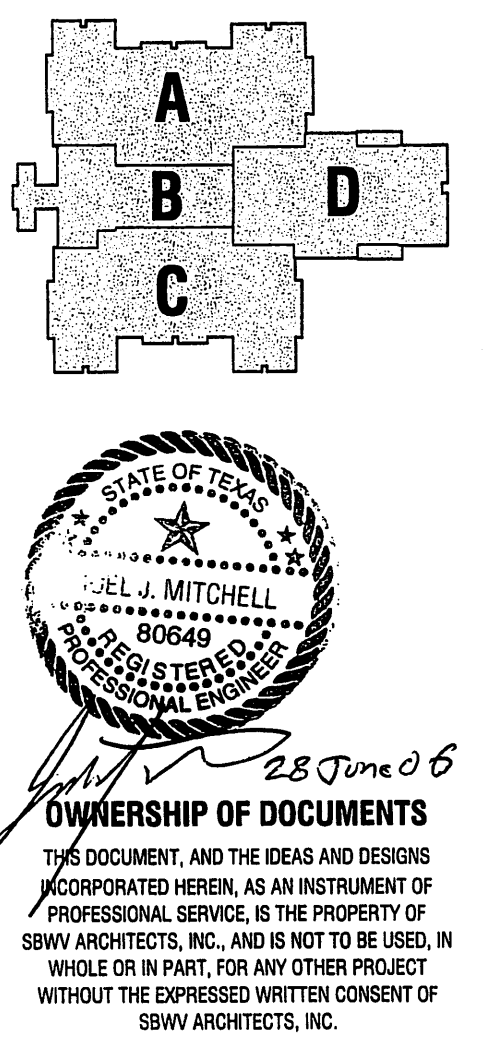
Conti, Jumper, Gardner &
Associates, Inc.
Structural Engineer

R.H. George & Associates, Inc.
MEPEngineer

Mullinzi and Associates
Food Service Consultant

Armetech Roofing
Consultants, Inc.
Roofing Consultant

Bonham Elementary School
Bryan Independent School District



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062006

SBV ARCHITECTS

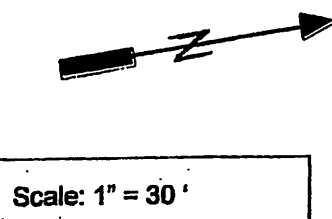
SBV Architects, Inc.
3040 Post Oak Boulevard, Suite 1220
Houston, Texas 77056
(713) 622-1448

GRADING-AND-EROSION
CONTROL-PLAN

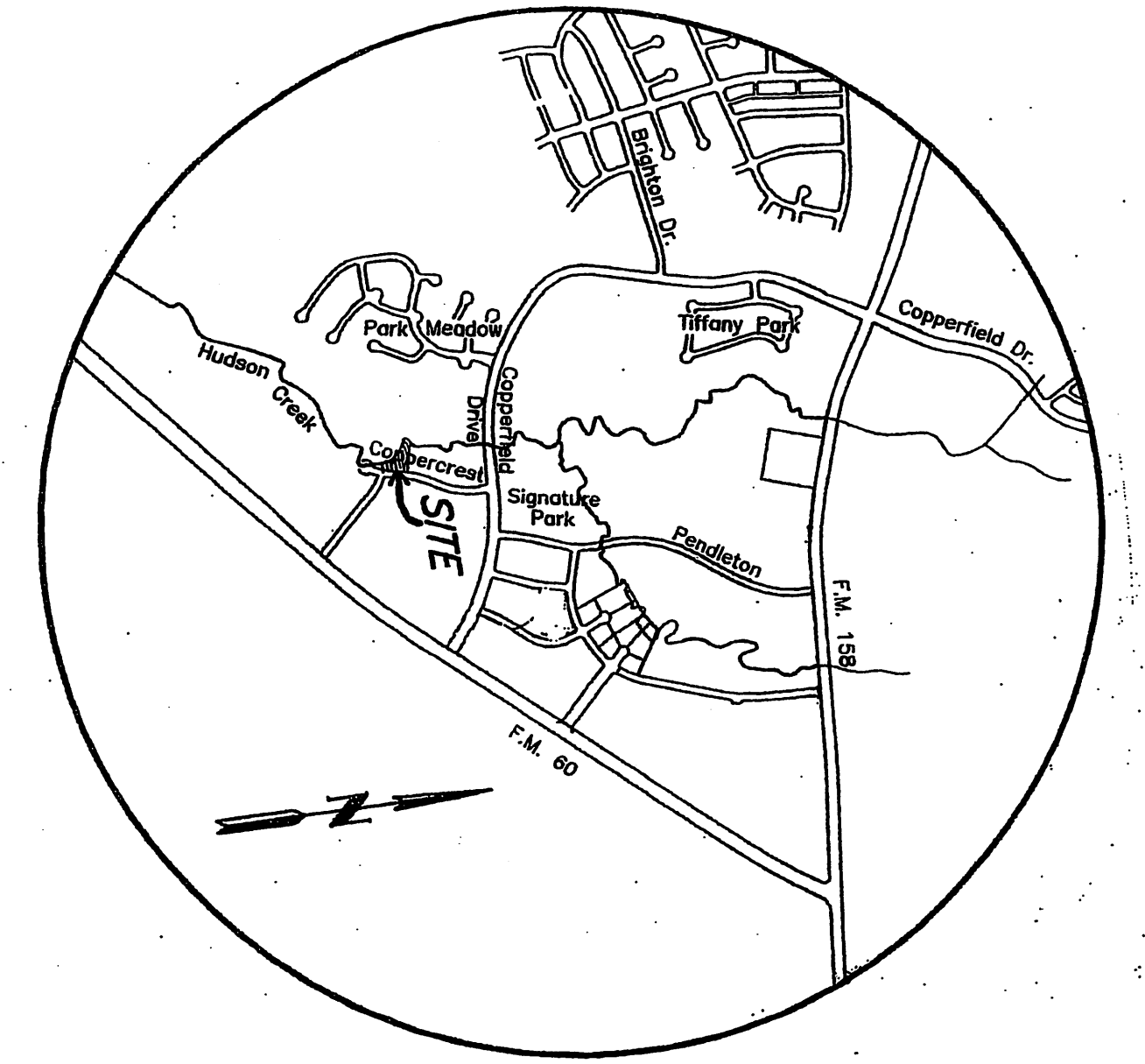
CVL05

Park Hudson Development Site Plan: Johnson Dentistry

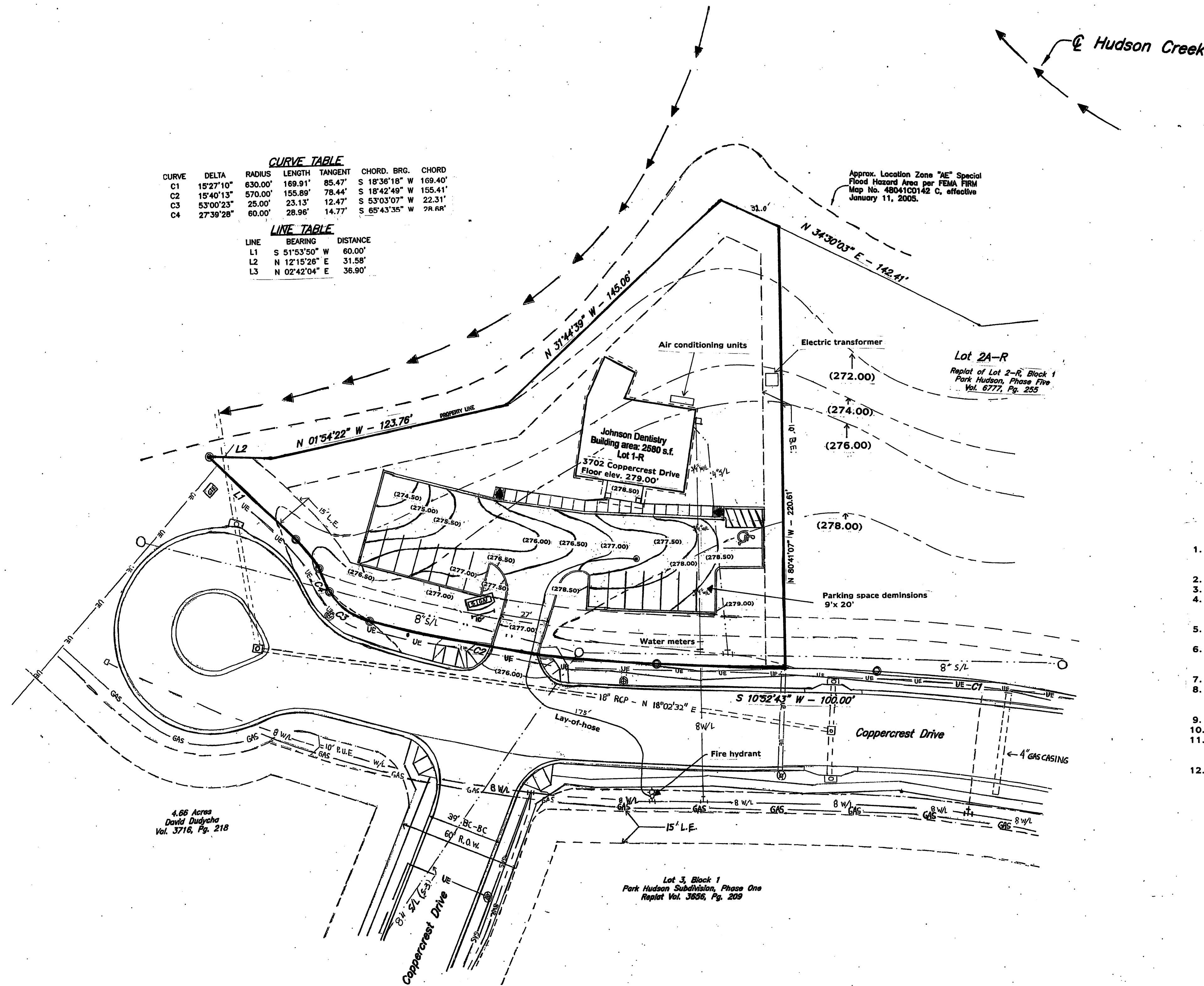
Site Plan: Johnson Dentistry, PA
Park Hudson Phase 5, Lot 1-R
Draftsman: John Johnson



Scale: 1" = 30'



VICINITY MAP



CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD, BRG. CHORD
C1	15°27'10"	630.00'	189.91'	85.47'	S 18°36'18" W 169.40'
C2	15°40'13"	570.00'	155.89'	78.44'	S 18°42'49" W 155.41'
C3	53°00'23"	25.00'	23.13'	12.47'	S 53°03'07" W 22.31'
C4	27°39'28"	60.00'	28.96'	14.77'	S 85°43'36" W 28.68'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 51°53'50" W	60.00'
L2	N 12°15'26" E	31.58'
L3	N 02°42'04" E	36.90'

- General Notes:**
- Property is located in Park Hudson Subdivision Phase 5 and is Zoned PD. Lot 1-R is 0.837 acres.
 - Proposed use: Medical/ Dental Building
 - Gross square footage: 2580 SF
 - Parking: 1space/200 SF
Required = 13 spaces
Provided = 15 spaces
 - Single floor building
No part of building is in 100 year flood hazard area.
 - Location of temporary access during construction:
Same as proposed driveway entry area.
Type: Limestone gravel base
 - Temporary debris placement proposed adjacent to southern end of building.
 - Proposed sign as on plan within landscape easement, height= 5ft max with 1foot masonry base level for lighting and plants. SF= 55.
 - Solid Waste will be disposed via 90 gal curbside service.
 - Wash out area for concrete trucks shall be at northern corner of building.
 - The contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The contractor shall use all means necessary to prevent the occurrence of wind blown litter from the project site.
 - This facility will not exceed normal domestic wastewater levels in the public sewer system nor will it fall into the category of industrial waste for the public sewer system. Digital X-Ray technology will be used which does not require development chemicals. Any and all solid waste which is hazardous will be collected and disposed of by a professional biohazards company compliant with OSHA regulations.

Elevations:
Dash lines --- existing elevations
Solid lines ——— proposed elevations

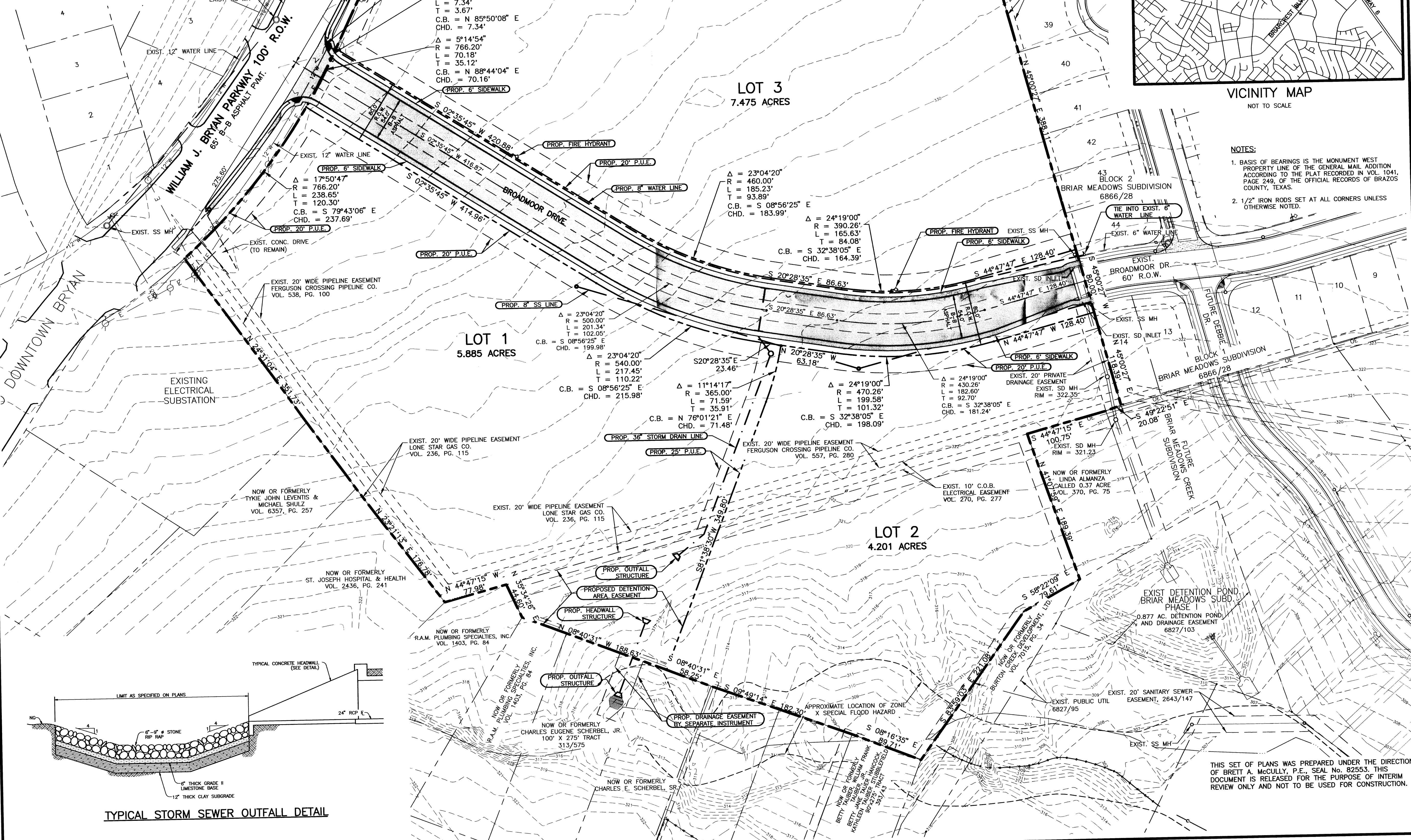
Legend	
	Property line
	Street Light
	Ambulatory Ramp
	Drainage Flow
	GTE Flashed Mount Vault
	Ex. Water Line
	Prop. Sewer Line
	Ex. Sewer Line
	Prop. Underground Conduit System
	Ex. Gas Line
	Prop. Gas Line
	Prop. GTE Line

Elevations

Bleyl & Associates

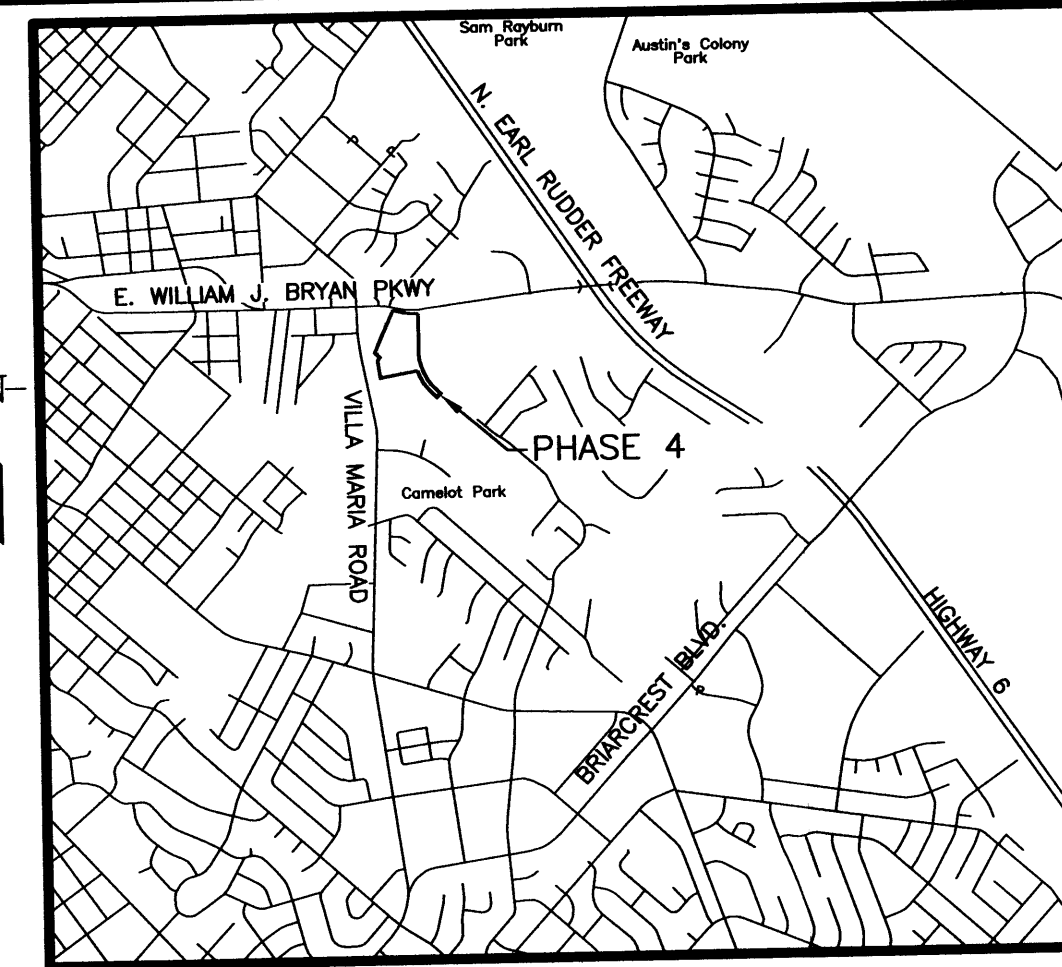
0 100 200 300

SCALE: 1"=100'



TYPICAL STORM SEWER OUTFALL DETAIL

Bleyl & Associates



VICINITY MAP
NOT TO SCALE

NOTES:

1. BASIS OF BEARINGS IS THE MONUMENT WEST PROPERTY LINE OF THE GENERAL MAIL ADDITION ACCORDING TO THE PLAT RECORDED IN VOL. 1041, PAGE 249, OF THE OFFICIAL RECORDS OF BRAZOS COUNTY, TEXAS.
2. 1/2" IRON RODS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.

REV	DATE	BY	APP	COMMENT

PREPARED FOR:
BURTON CREEK DEVELOPMENT, L.L.C.
P.O. BOX 6345
BRYAN, TX. 77805-6345

DATE: JULY 2005
DRAWN BY: SWW
PROJECT MANAGER: BRETT MCCULLY, P.E.

Bleyl & Associates
Project Engineering & Management

1722 BROADMOOR, STE. 210
BRYAN, TEXAS 77804
(936) 280-3848
(936) 280-3849 FAX

2051 N. LOOP 336 W
CONROE, TEXAS 77304
(936) 441-7833 PHONE
(936) 441-7835 FAX

PRELIMINARY PLAN
PHASES 4-6-8

BRIAR MEADOWS CREEK

JOHN AUSTIN SURVEY, A-2
BRYAN, TEXAS

THIS SET OF PLANS WAS PREPARED UNDER THE DIRECTION OF BRETT A. MCCULLY, P.E., SEAL No. 82553. THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW ONLY AND NOT TO BE USED FOR CONSTRUCTION.

PROJECT NUMBER
7037

FILE NAME: 7037-PRELIM-04
SHEET: 1 OF 1